

LEXINGTON LAKES, A CONDOMINIUM OVERALL CONDOMINIUM LEGAL AND SITE PLAN (PROPOSED) SITE PLAN

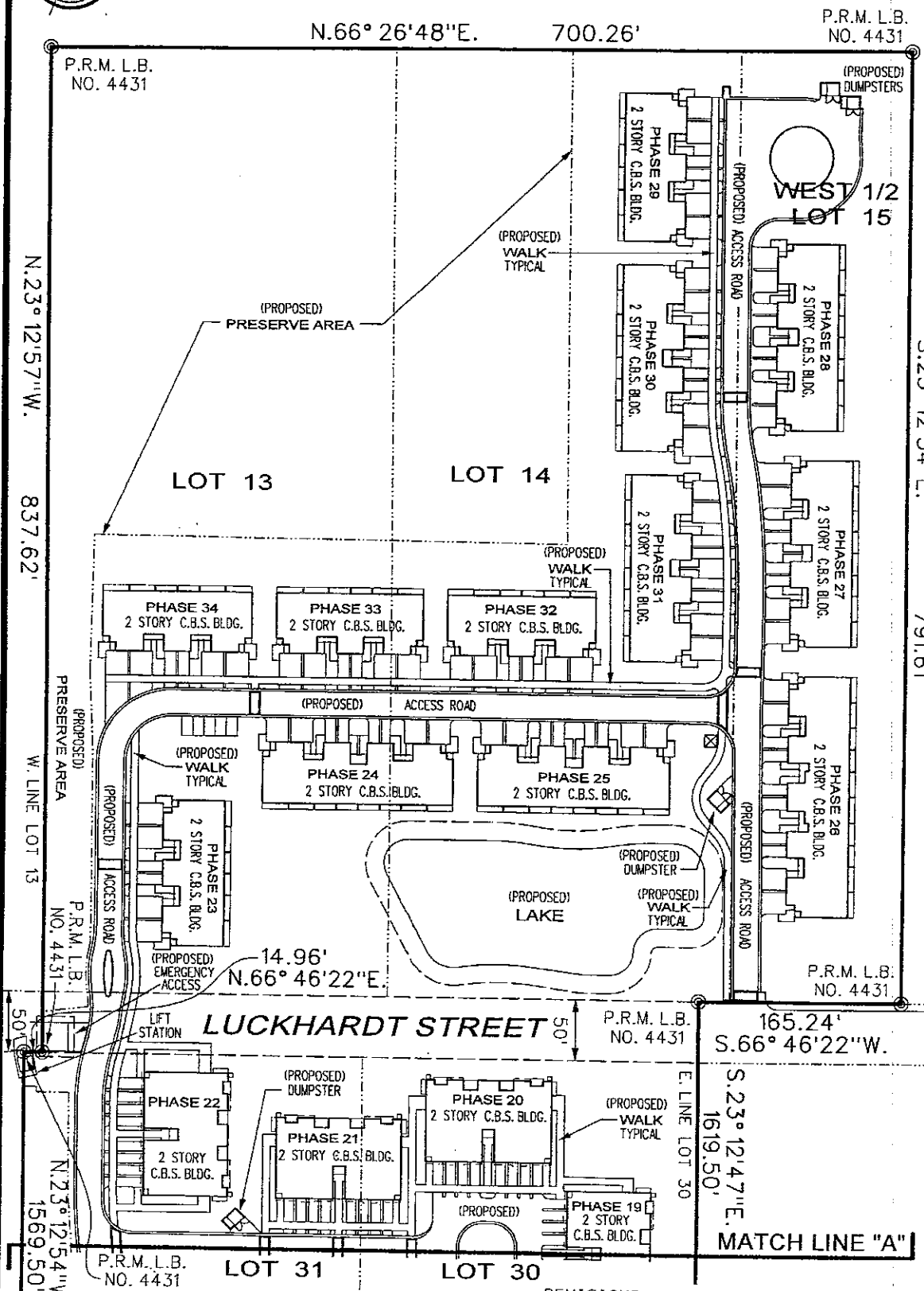
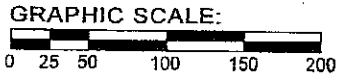
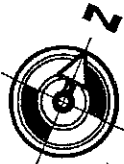


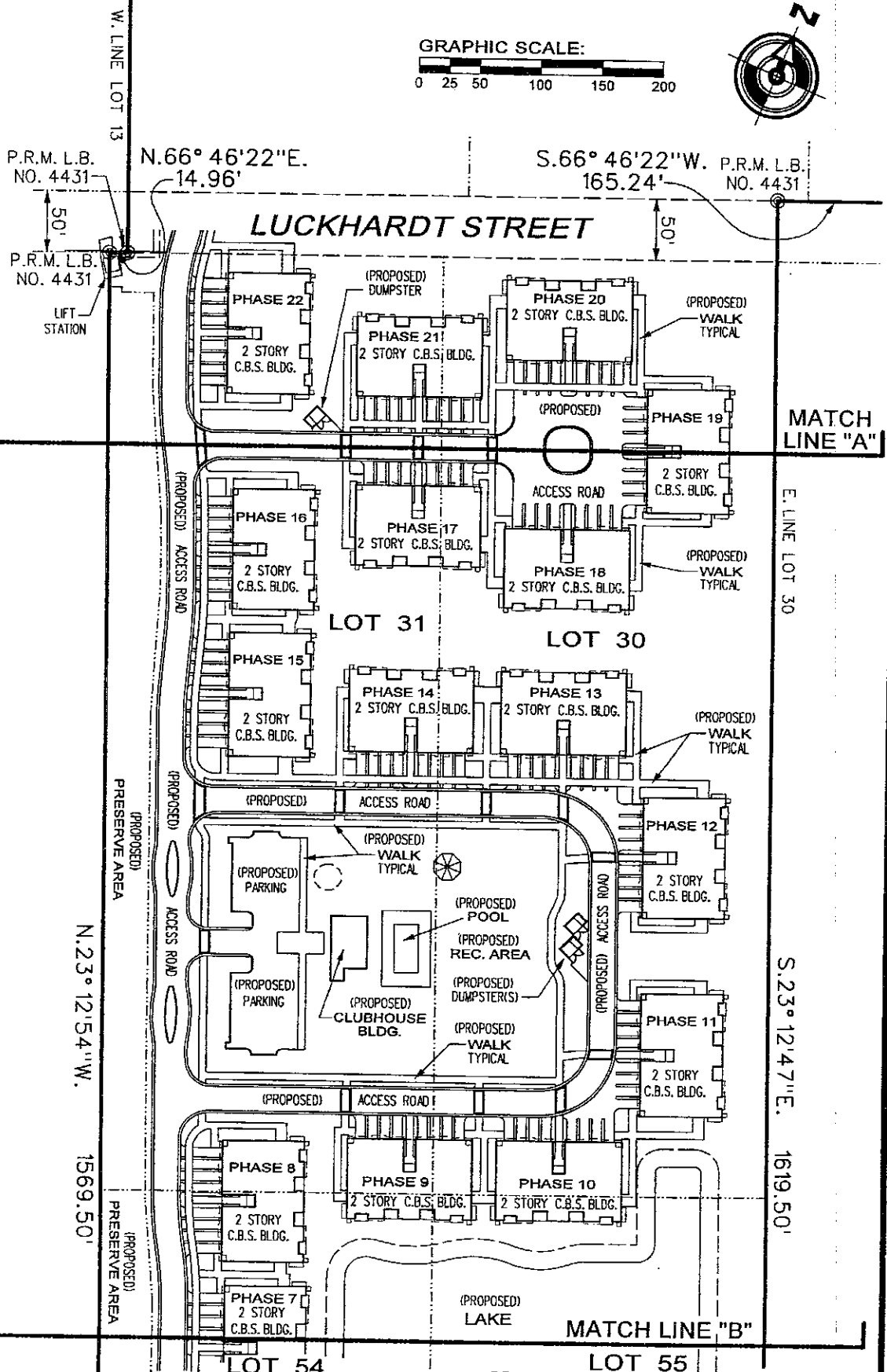
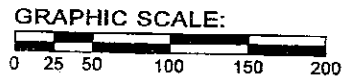
EXHIBIT "A"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:
1.)
2.)
3.)
4.)

DATE: APRIL 2004 SHEET 2 OF 4 SHEETS

LEXINGTON LAKES, A CONDOMINIUM OVERALL CONDOMINIUM LEGAL AND SITE PLAN (PROPOSED) SITE PLAN



SCALE: 1"=100'

EXHIBIT "A"

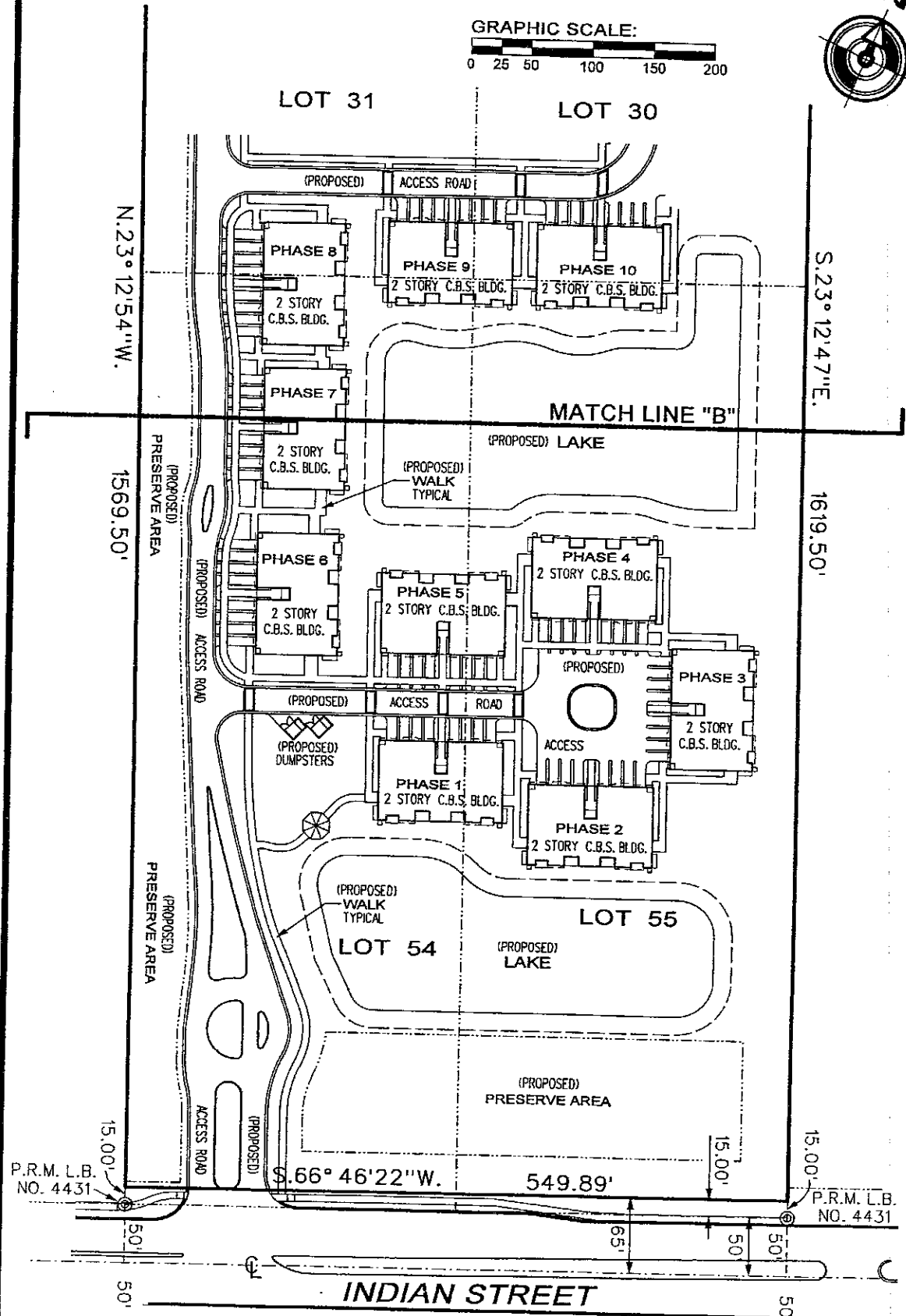
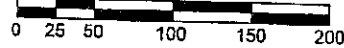
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PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.) MAY 2004 - REVISE PHASE 11 - IMPROVEMENTS.
 - 2.)
 - 3.)
 - 4.)

DATE: APRIL 2004 SHEET 3 OF 4 SHEETS

LEXINGTON LAKES, A CONDOMINIUM OVERALL CONDOMINIUM LEGAL AND SITE PLAN (PROPOSED) SITE PLAN

GRAPHIC SCALE:



SCALE: 1"=100'

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REVISIONS:

- 1.) MAY 2004 - REVISE PHASE 11 - IMPROVEMENTS.
- 2.)
- 3.)
- 4.)

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DATE: APRIL 2004 SHEET 4 OF 4 SHEETS

LEXINGTON LAKES, A CONDOMINIUM OVERALL CONDOMINIUM LEGAL AND SITE PLAN LEGAL DESCRIPTION

LEGAL DESCRIPTION:

A portion of the West one-half of Lot 13, Lot 14, the west one-half of Lot 15 and Lots 30, 31, 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

Lot 14 and the West one-half of Lot 15 and Lots 30, 31, 54 and 55, SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida.

Together with:

The West one-half of Lot 13, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida.

And:

The East Half (E 1/2), measuring approximately one hundred forty (140) feet in width and seven hundred eighty-four (784) feet in length of Farm Tract Thirteen (13) in "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," of lots two (2), three (3) and four (4) of the miles, or Hanson Grant, as partitioned by commissioners, approved and confirmed December 17, 1901 by the U.S. Circuit Court, Fifth Judicial Circuit, Southern District of Florida, according to the revised Plats thereof, Filed and recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin (formerly Palm Beach) County, Florida, and being in Township thirty-eight (38) South, range forty-one (41) East.

And together with:

The adjacent Right-of-Way of Luckhardt Street (a fifty foot Right-of-Way); bounded on the East by the Northerly extension of the East line of said Lot 30 and on the West by the Southerly extension West line of said Lot 13.

Less therefrom:

The Southerly 15 feet (adjacent to Indian Street) for Right-of-Way purposes.

Containing 33.122 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISK WITH L.B. 6772.

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND": A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	
	ELEVATION, PROPOSED		CATCH BASIN	
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

EXHIBIT "A"

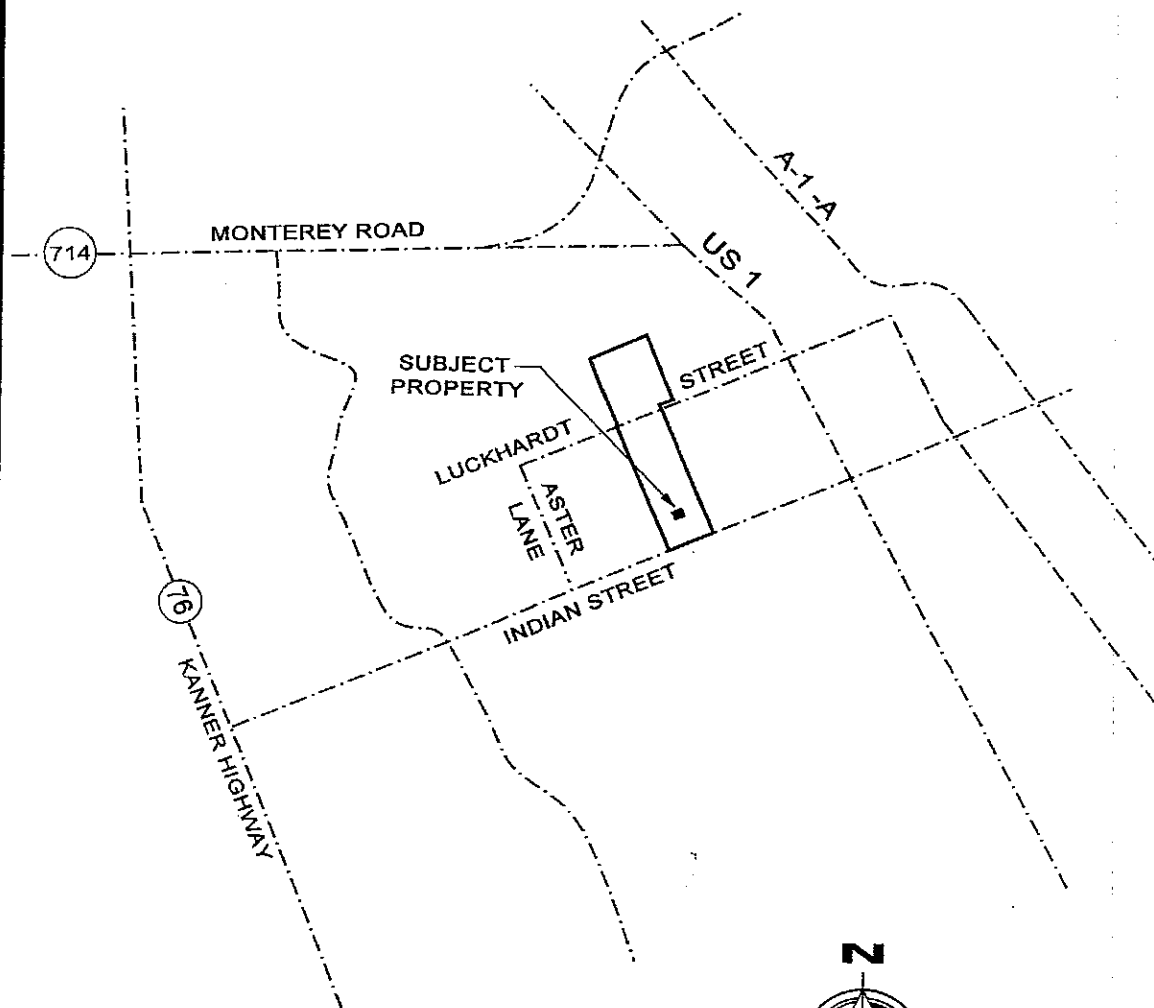
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 4 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 1



LOCATION MAP:
NOT TO SCALE

SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 1

LEGAL DESCRIPTION:

A portion of Lots 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 375.34 feet; thence N.66°47'06"E., a distance of 198.76 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 93.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A






ABBREVIATIONS:






A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or  CENTERLINE
 B/L or  BASELINE
 ELEVATION, AS-BUILT
 ELEVATION, PROPOSED
 FLOW ARROW

 EDGE OF WATER
 MANHOLE, SANITARY SEWER
 MANHOLE, STORM DRAINAGE
 CATCH BASIN
 FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 1 - LEGAL DESCRIPTION

EXHIBIT "B"

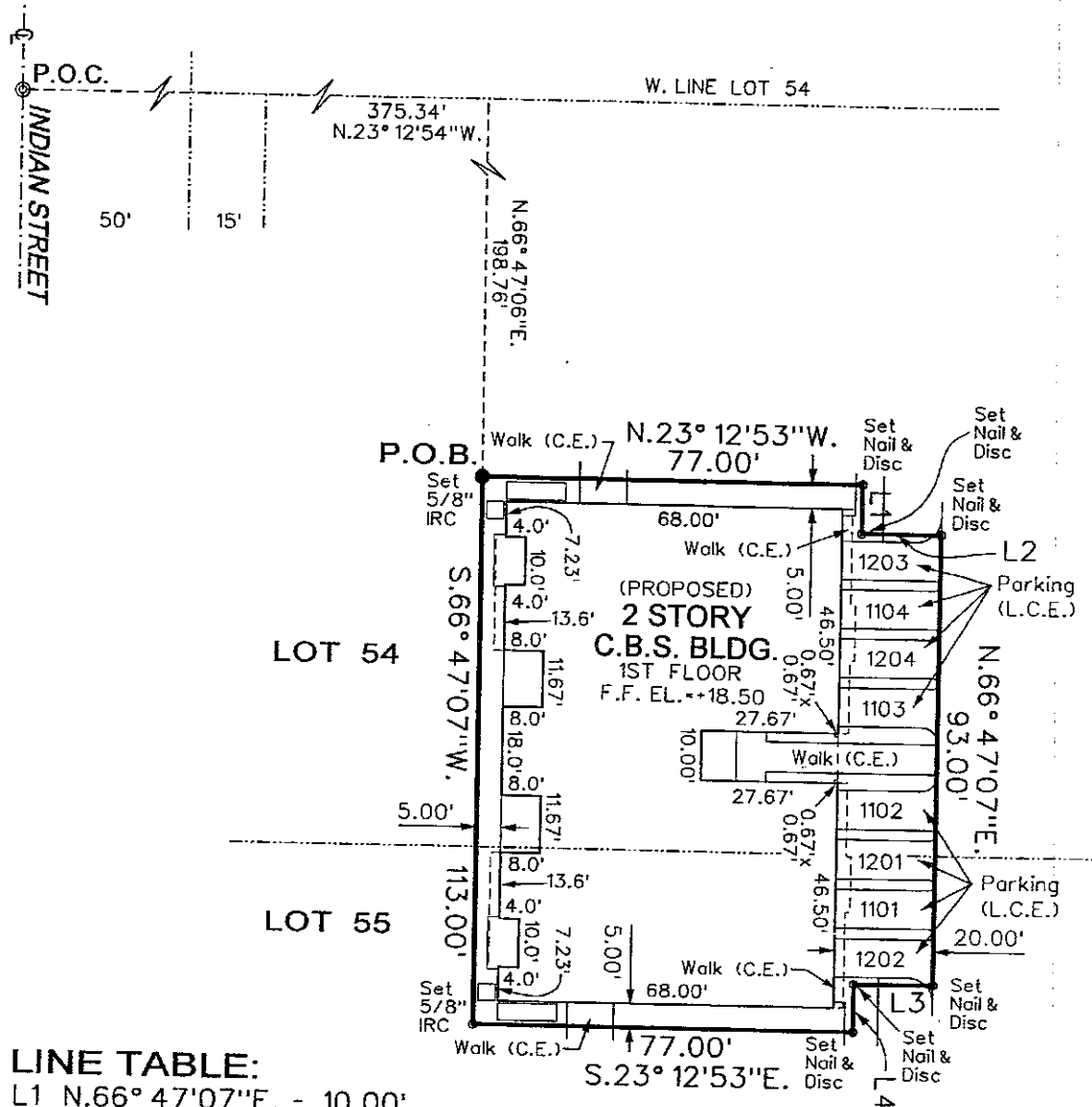
HAGER, PALBICKE & ASSOCIATES, INC.
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 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

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3.)
4.)

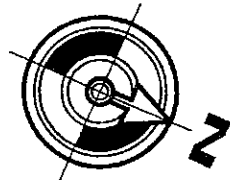
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 1

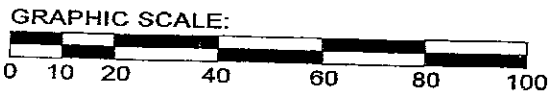


LINE TABLE:

L1	N.66° 47'07"E. - 10.00'
L2	N.23° 12'53"W. - 16.00'
L3	S.23° 12'53"E. - 16.00'
L4	N.66° 47'07"E. - 10.00'



PHASE 1 - SITE PLAN (PROPOSED)



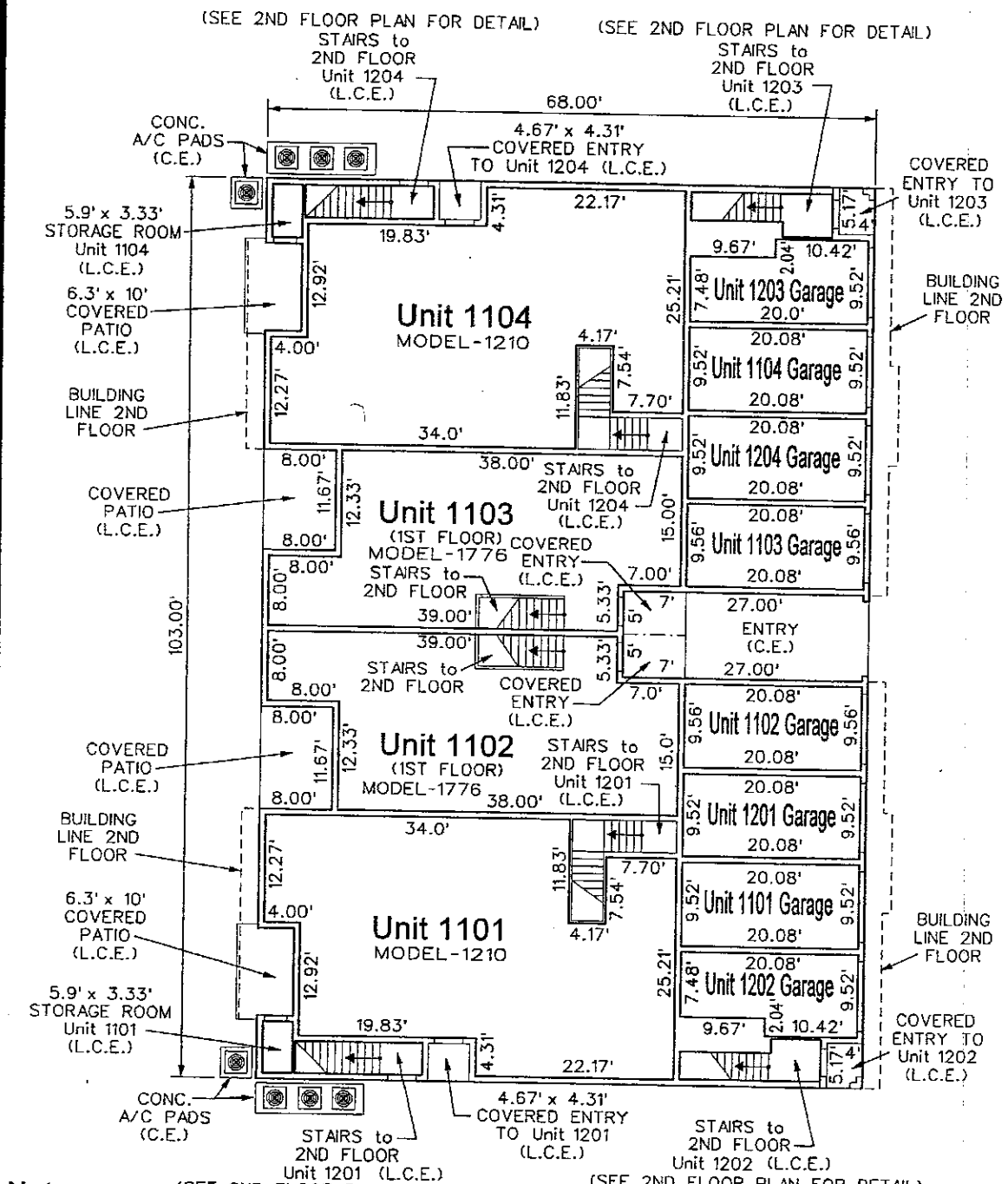
SCALE: 1"=30'

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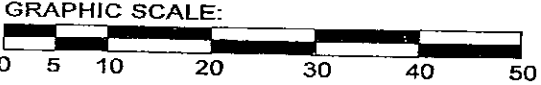
LEXINGTON LAKES, A CONDOMINIUM PHASE 1



Note: (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

PHASE 1 - BUILDING 1ST FLOOR PLAN:

UPPER LIMITS (UNIT):	+27.83	(GARAGE):	+27.83
LOWER LIMITS (UNIT):	+18.50	(GARAGE):	+17.90



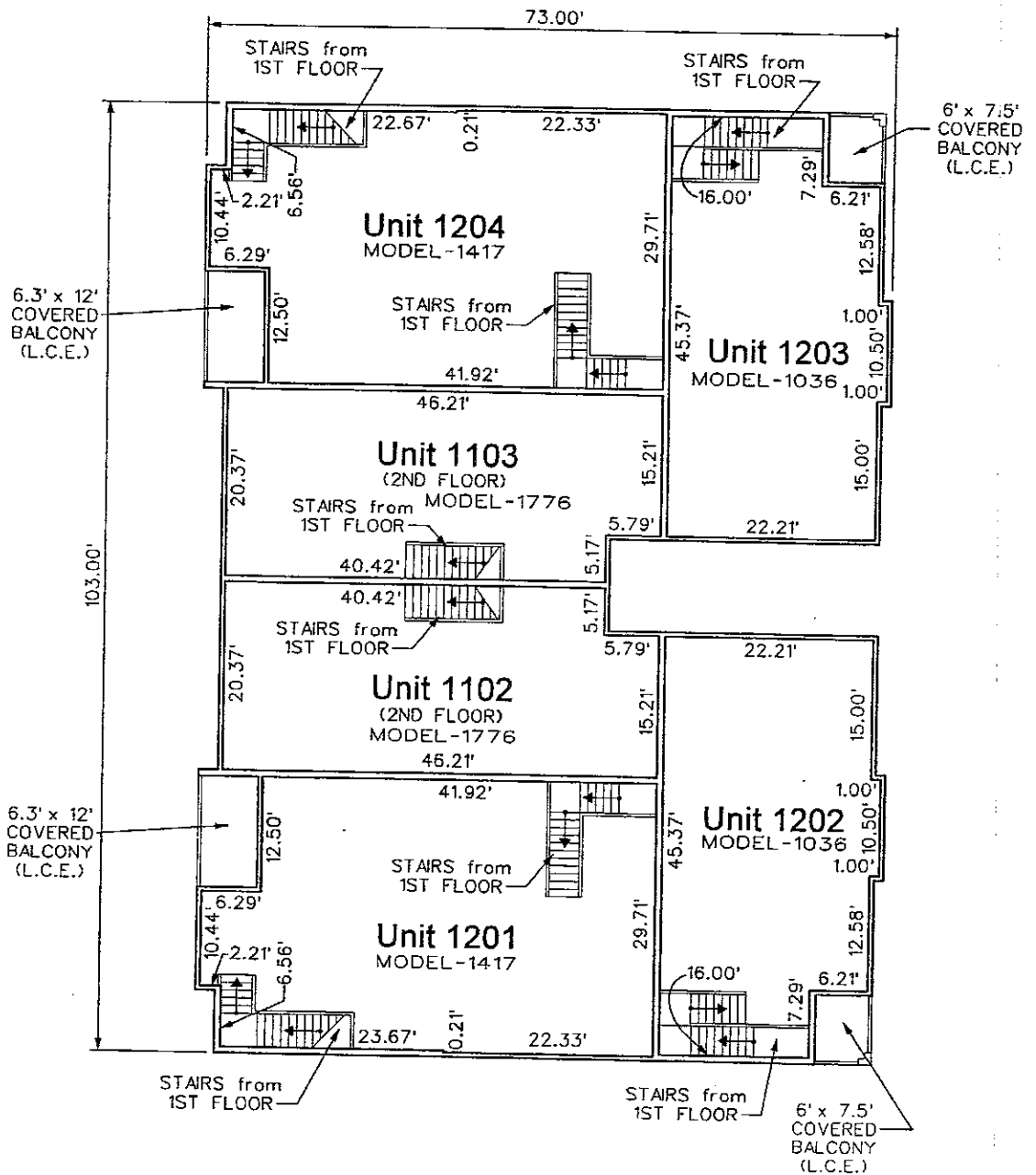
SCALE: 1"=15'

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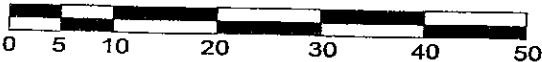
LEXINGTON LAKES, A CONDOMINIUM PHASE 1



**PHASE 1 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

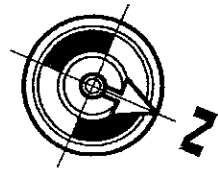
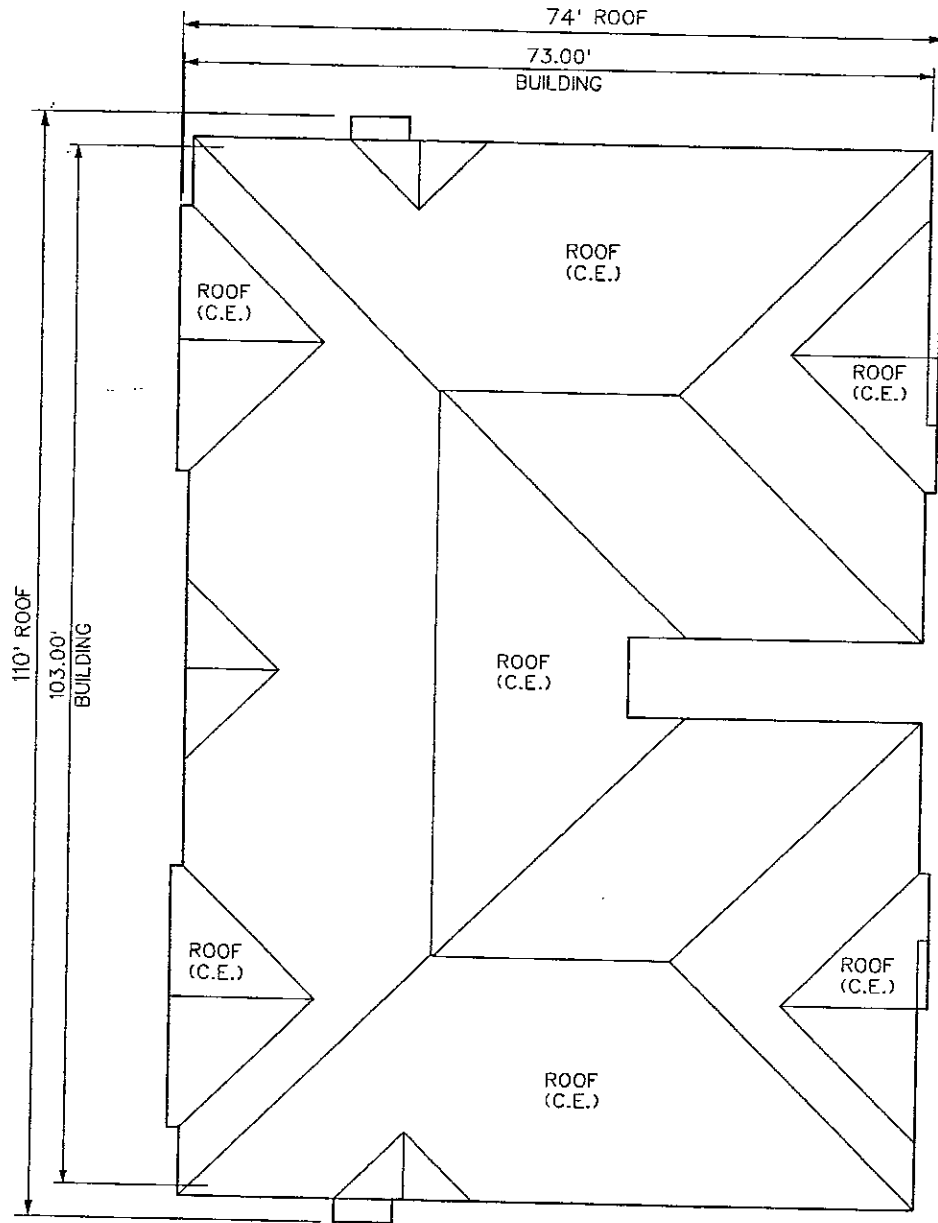
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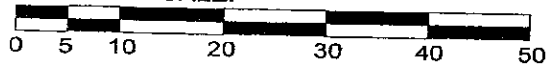
DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 1



**PHASE 1 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

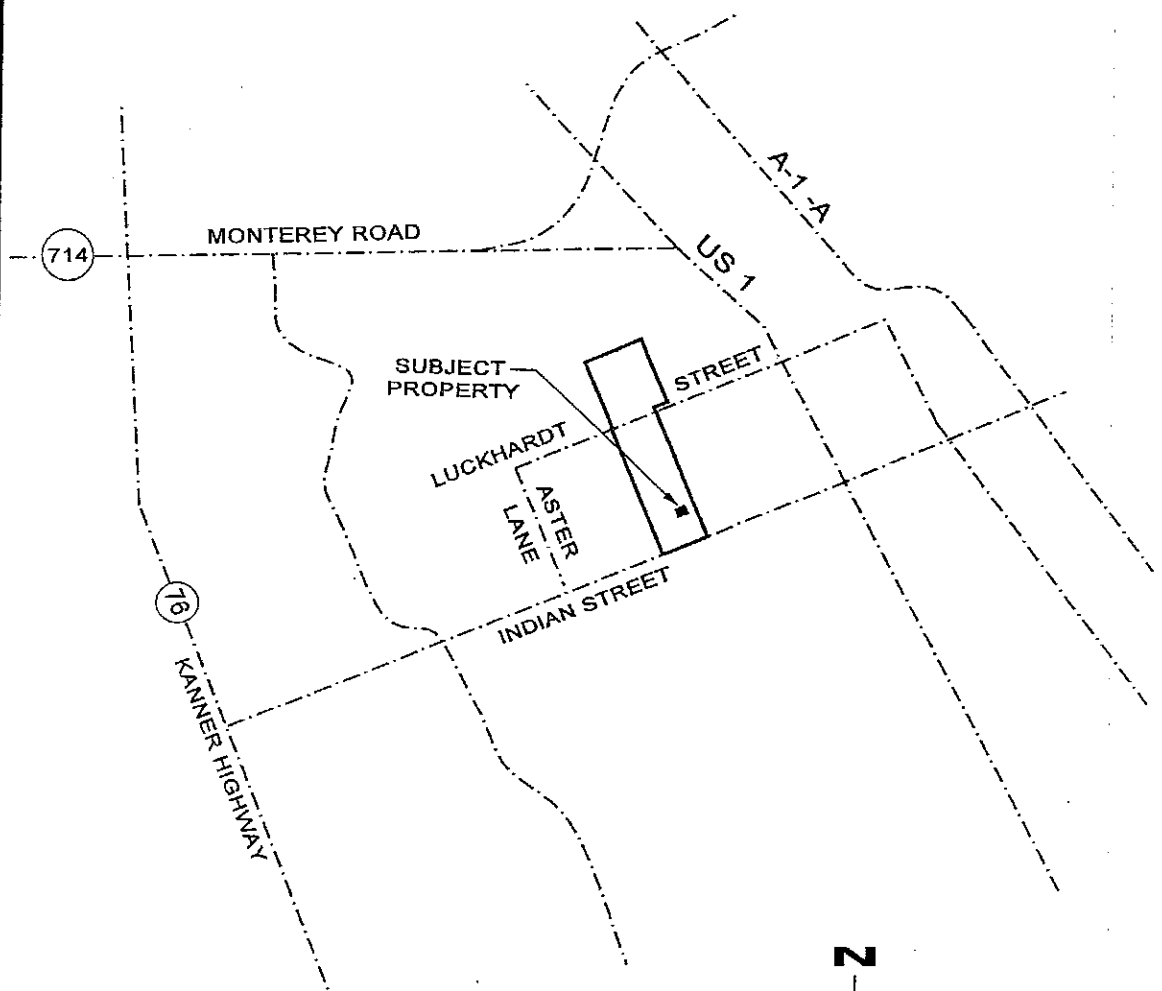
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DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 2



LOCATION MAP:
NOT TO SCALE

SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

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LEXINGTON LAKES, A CONDOMINIUM PHASE 2

LEGAL DESCRIPTION:

A portion of Lot 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 340.38 feet; thence N.66°47'06"E., a distance of 323.25 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 93.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A






ABBREVIATIONS:






A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH I.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE
B/L or 	BASELINE
	ELEVATION, AS-BUILT
	ELEVATION, PROPOSED
	FLOW ARROW

	EDGE OF WATER
	MANHOLE, SANITARY SEWER
	MANHOLE, STORM DRAINAGE
	CATCH BASIN
	FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND": A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

PHASE 2 - LEGAL DESCRIPTION

EXHIBIT "B"

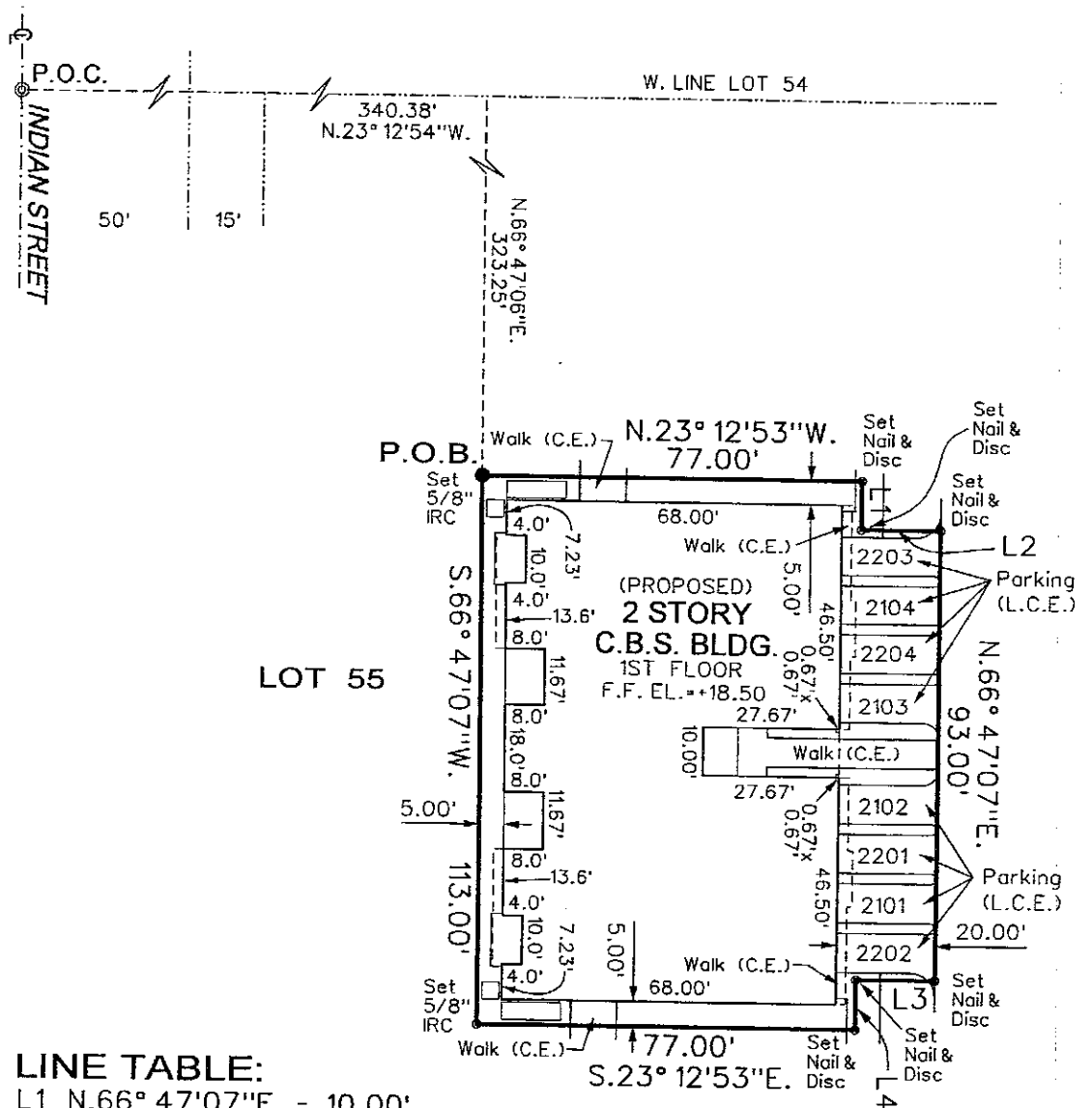
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

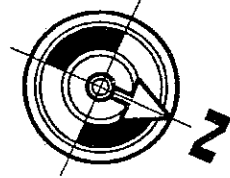
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 2

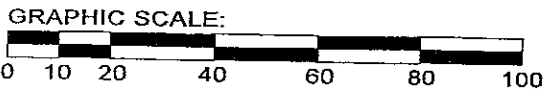


LINE TABLE:

L1	N.66° 47'07" E.	- 10.00'
L2	N.23° 12'53" W.	- 16.00'
L3	S.23° 12'53" E.	- 16.00'
L4	N.66° 47'07" E.	- 10.00'



PHASE 2 - SITE PLAN (PROPOSED)



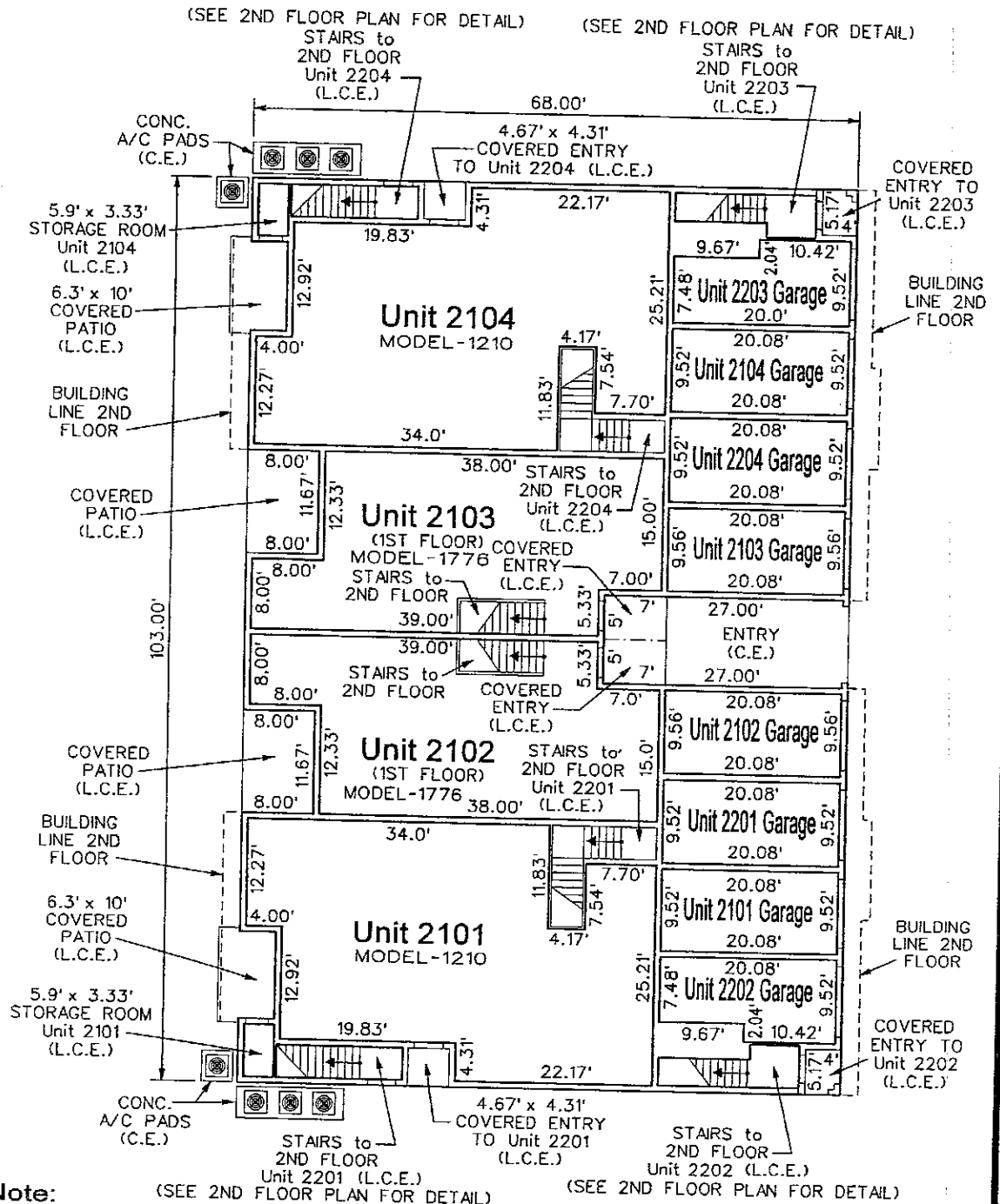
SCALE: 1"=30'

EXHIBIT "B"

- REVISIONS:**
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
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LEXINGTON LAKES, A CONDOMINIUM PHASE 2

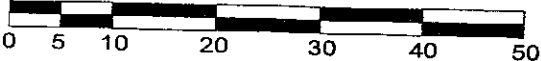


Note: (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

**PHASE 2 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

GRAPHIC SCALE:



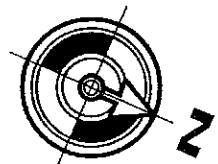
SCALE: 1"=15'

EXHIBIT "B"

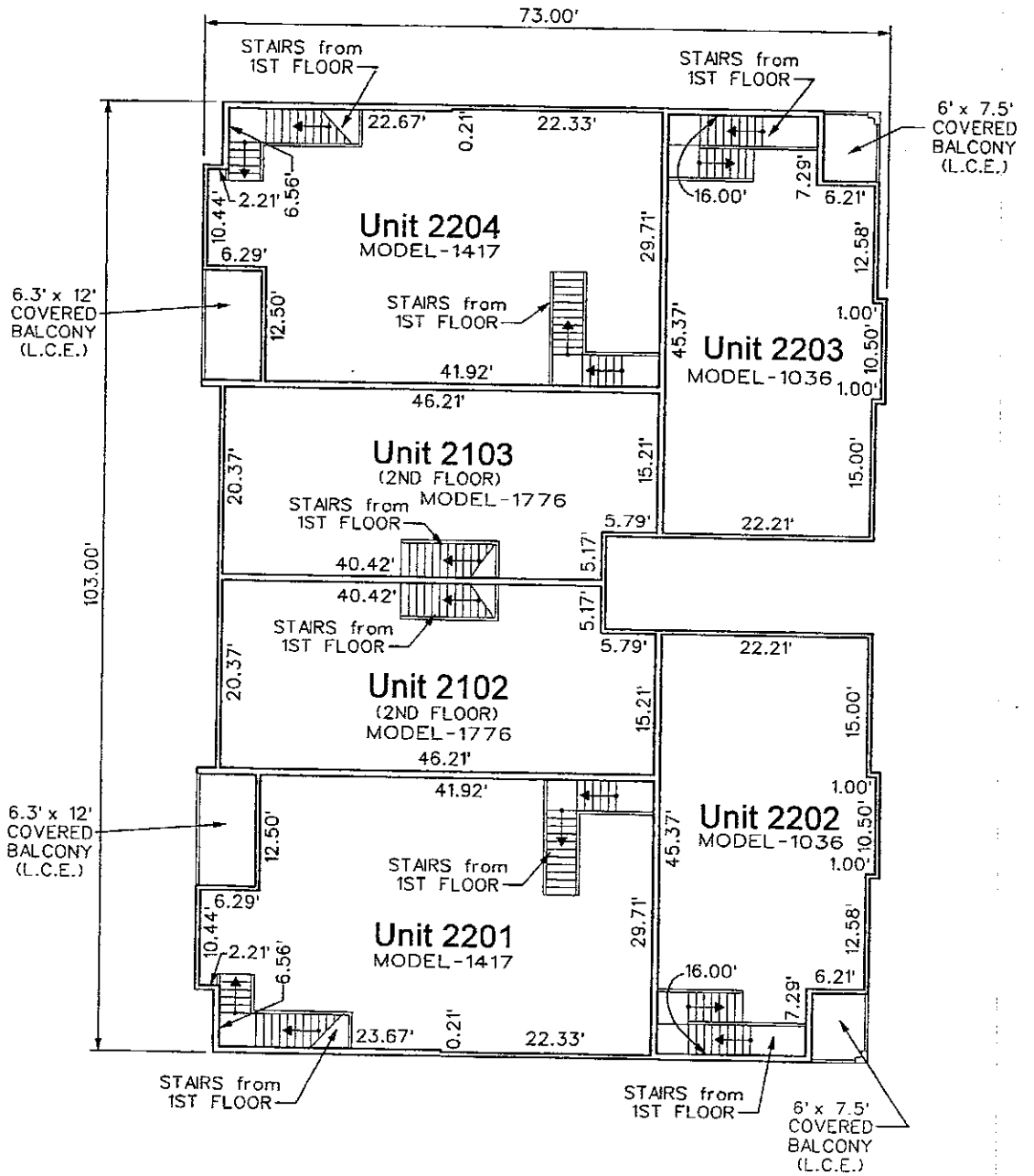
- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 4 OF 6 SHEETS



LEXINGTON LAKES, A CONDOMINIUM PHASE 2

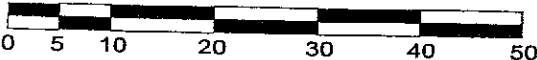


**PHASE 2 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75

LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

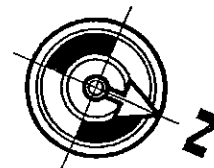
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

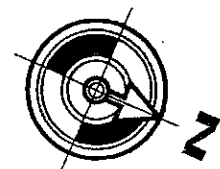
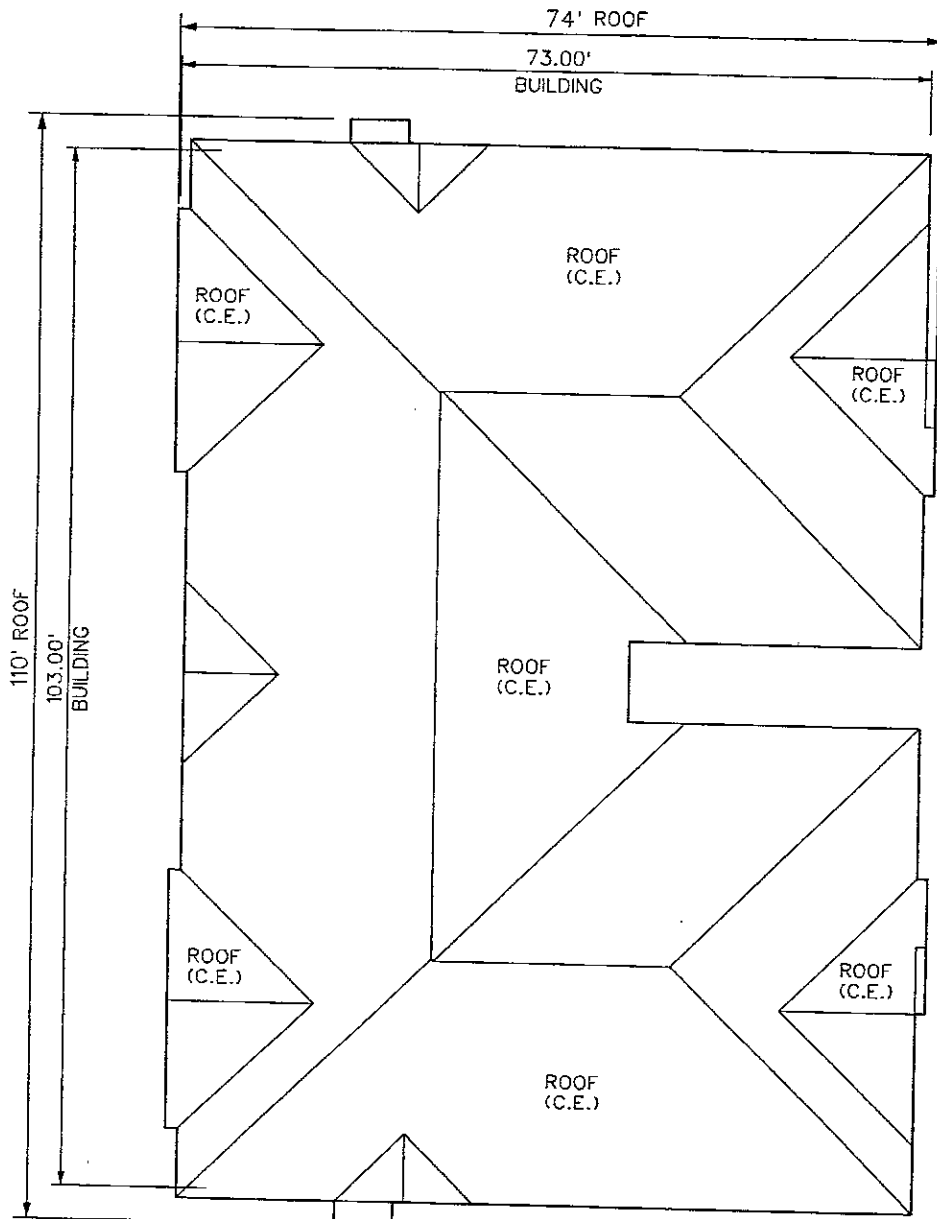
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

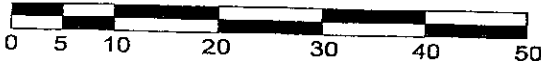


LEXINGTON LAKES, A CONDOMINIUM PHASE 2



**PHASE 2 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

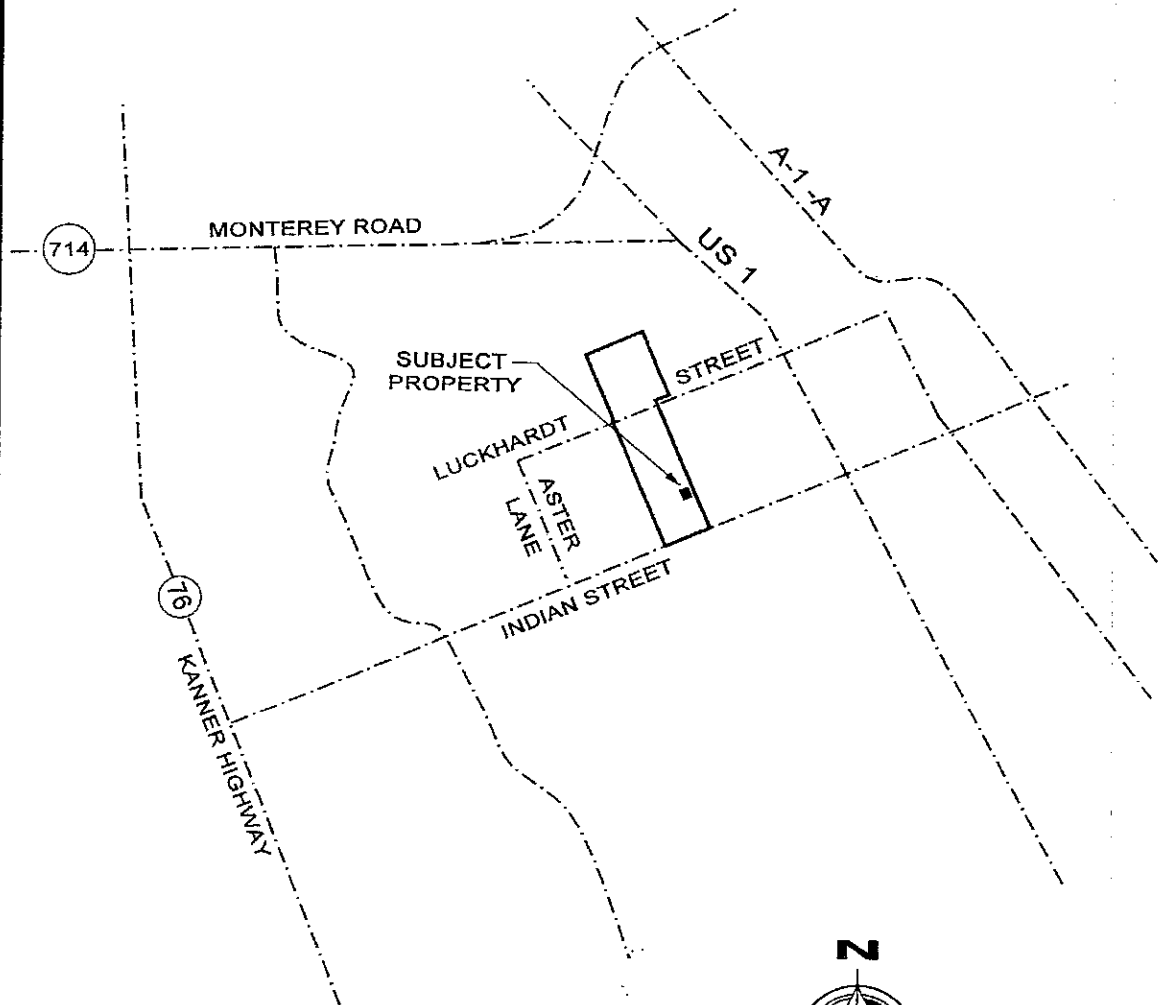
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 3



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 3

LEGAL DESCRIPTION:

A portion of Lot 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the East Line of Lots 55 and 30; thence N.23°12'47"W., along said East Line, a distance of 423.68 feet; thence S.66°47'13"W., a distance of 32.24 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.66°47'07"W., a distance of 77.00 feet; thence N.23°12'53"W., a distance of 10.00 feet; thence S.66°47'07"W., a distance of 16.00 feet; thence N.23°12'53"W., a distance of 93.00 feet; thence N.66°47'07"E., a distance of 16.00 feet; thence N.23°12'53"W., a distance of 10.00 feet; thence N.66°47'07"E., a distance of 77.00 feet; thence S.23°12'53"E., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;
	ELEVATION, PROPOSED		CATCH BASIN	ELEVATION= +16.33 (N.G.V.D.)
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

PHASE 3 - LEGAL DESCRIPTION

EXHIBIT "B"

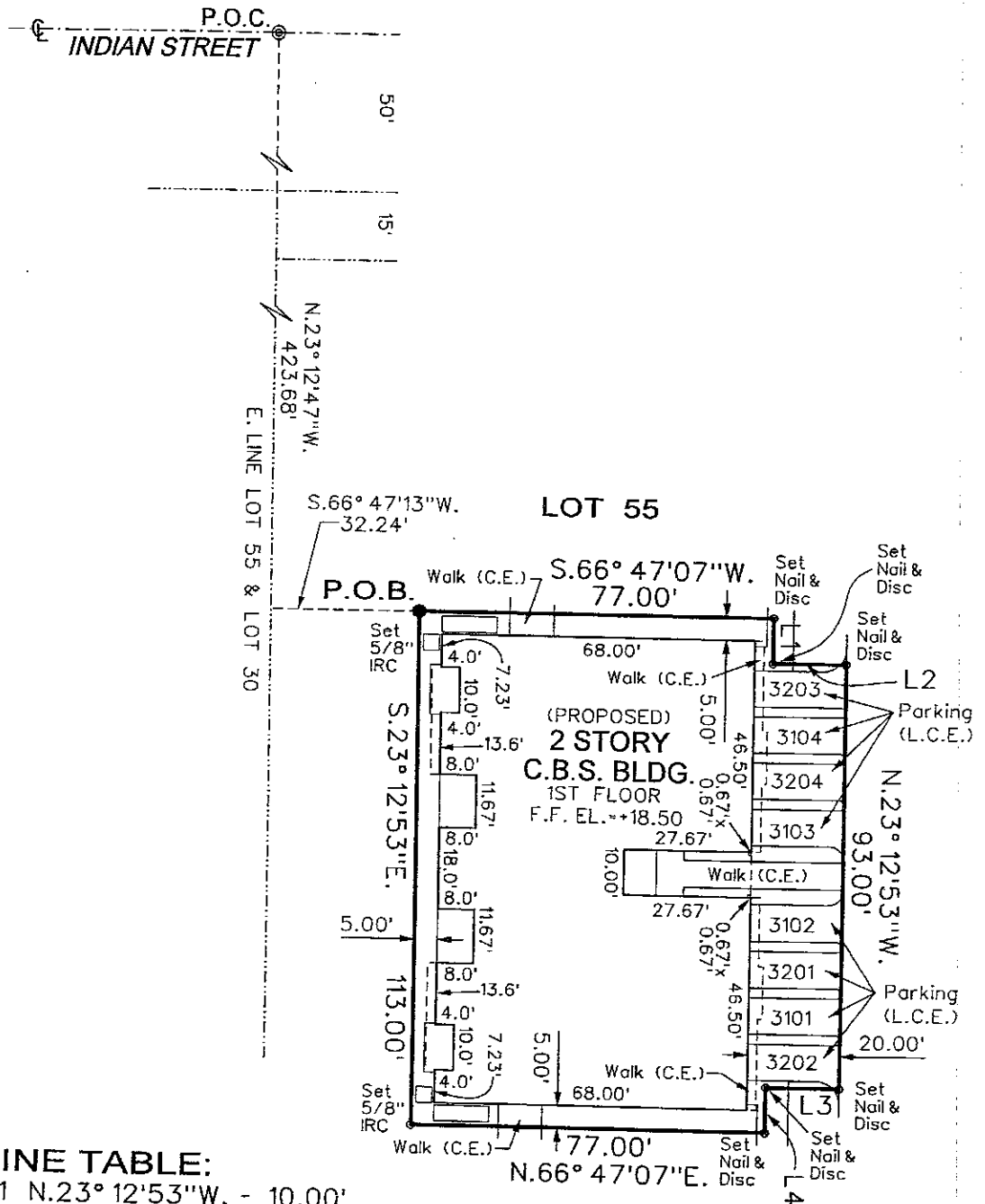
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

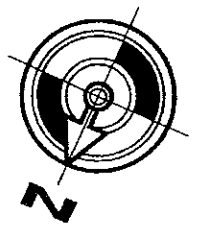
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 3

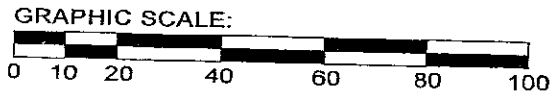


LINE TABLE:

L1	N.23° 12' 53" W.	- 10.00'
L2	S.66° 47' 07" W.	- 16.00'
L3	N.66° 47' 07" E.	- 16.00'
L4	N.23° 12' 53" W.	- 10.00'



PHASE 3 - SITE PLAN (PROPOSED)



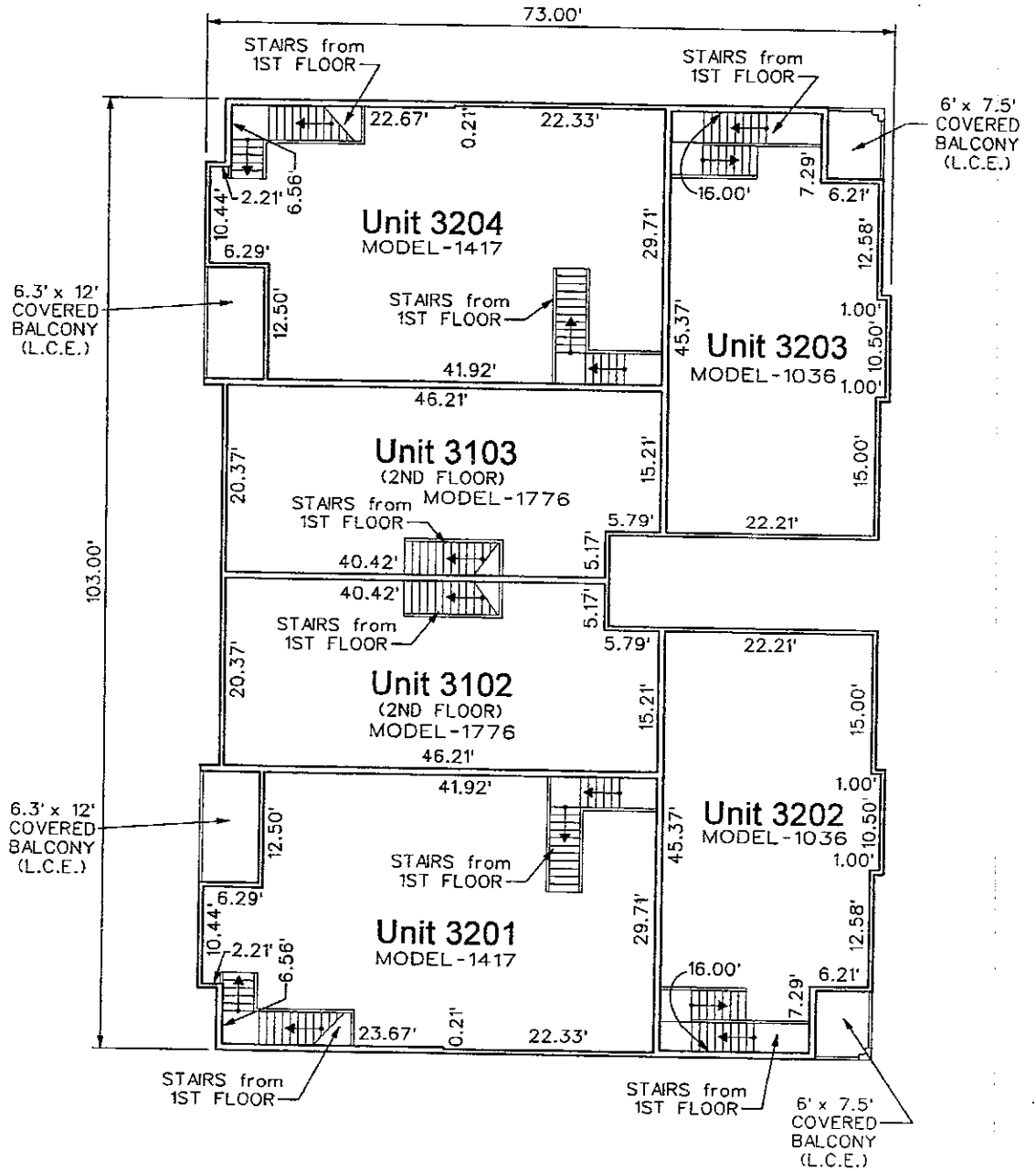
SCALE: 1"=30'

EXHIBIT "B"

- REVISIONS:**
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 3

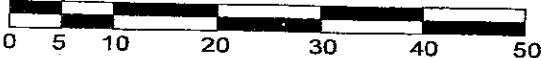


**PHASE 3 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75

LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

REVISIONS:

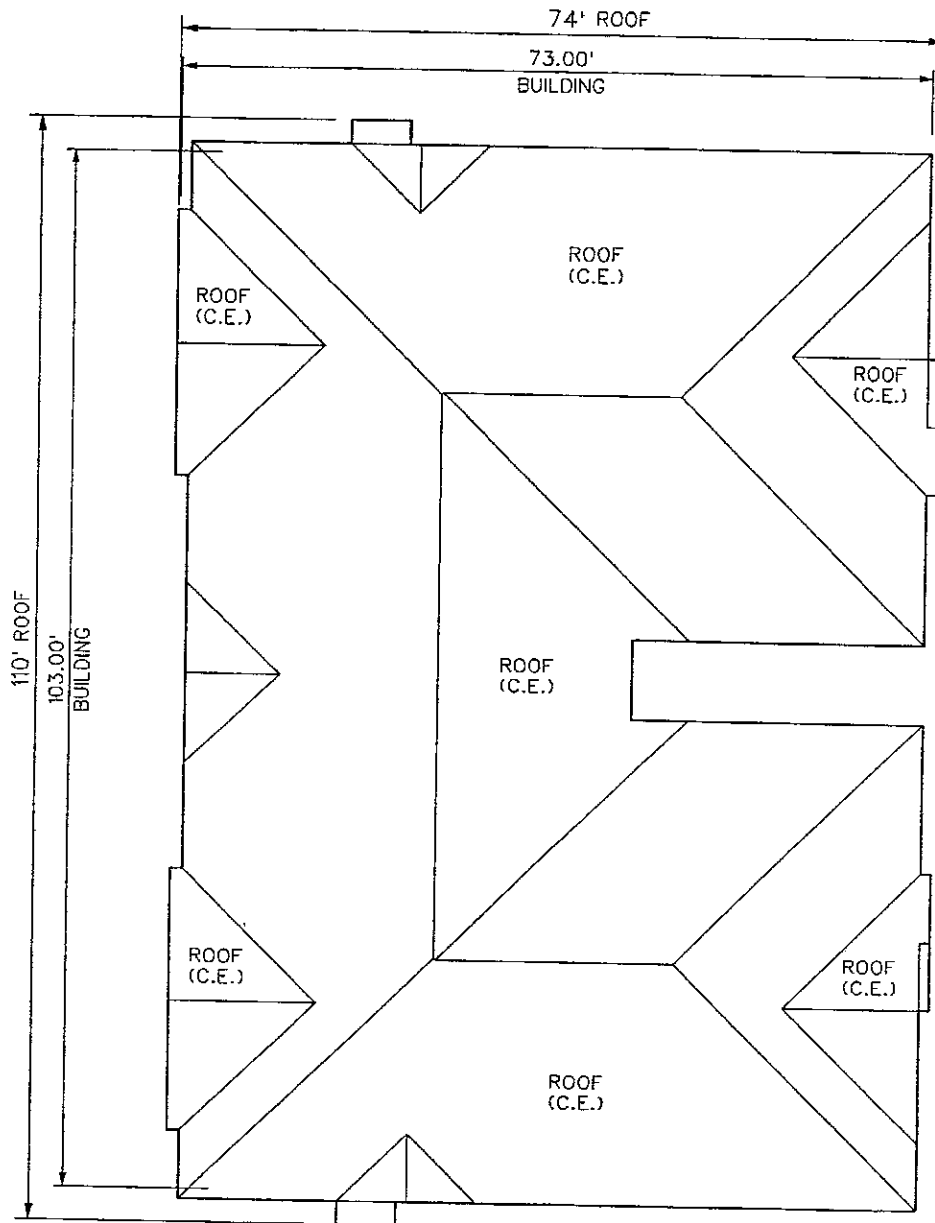
- 1.)
- 2.)
- 3.)
- 4.)

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PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

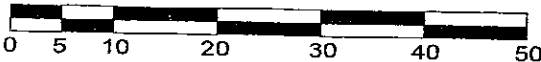


LEXINGTON LAKES, A CONDOMINIUM PHASE 3



**PHASE 3 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

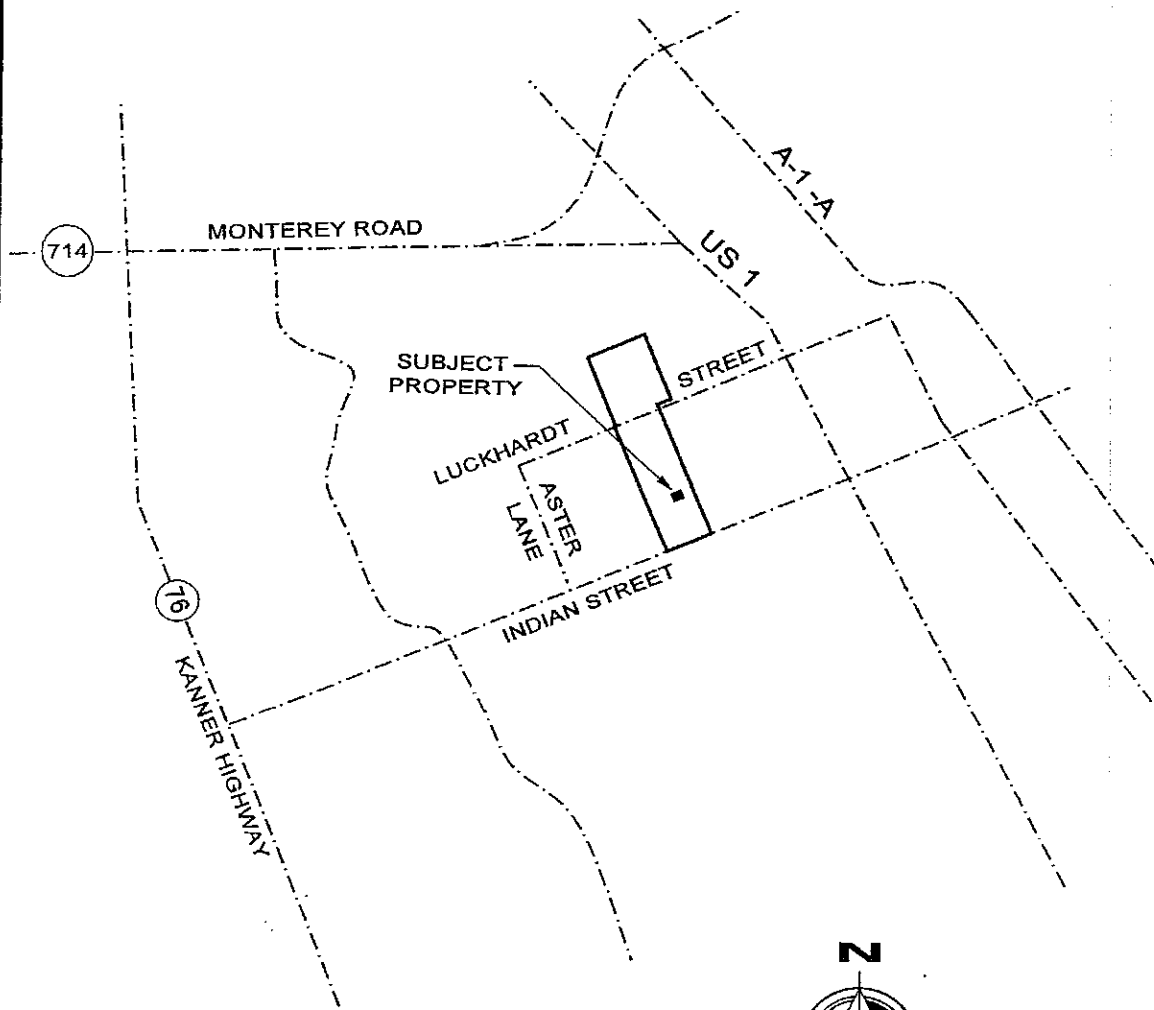
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 4



LOCATION MAP:
NOT TO SCALE

SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD, SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 4

LEGAL DESCRIPTION:

A portion of Lot 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the East Line of Lots 55 and 30; thence N.23°12'47"W., along said East Line, a distance of 628.21 feet; thence S.66°47'13"W., a distance of 113.65 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.D.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.G.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;
	ELEVATION, PROPOSED		CATCH BASIN	ELEVATION= +16.33 (N.G.V.D.)
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

PHASE 4 - LEGAL DESCRIPTION

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

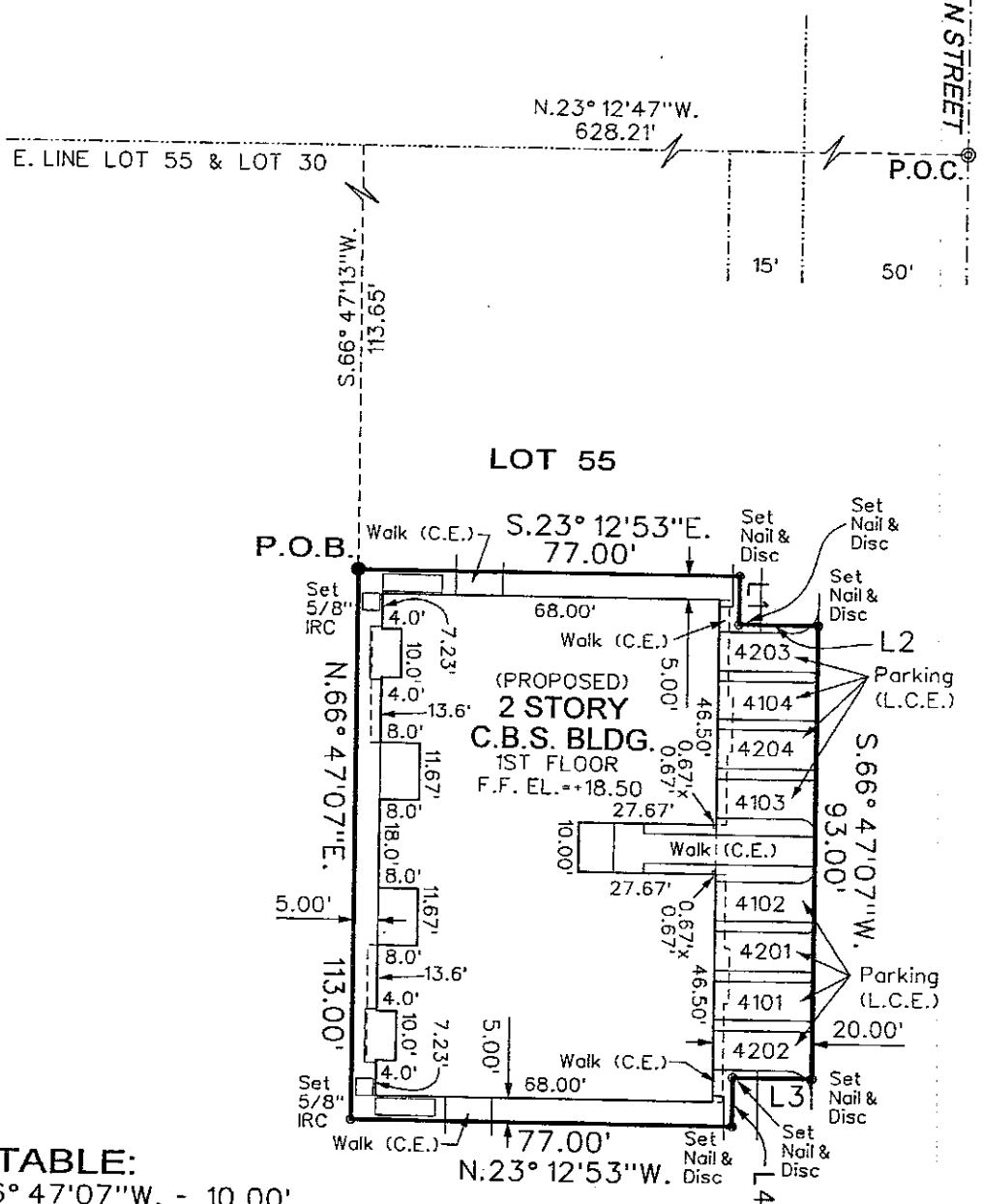
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

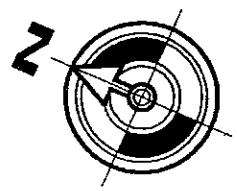
LEXINGTON LAKES, A CONDOMINIUM PHASE 4

INDIAN STREET

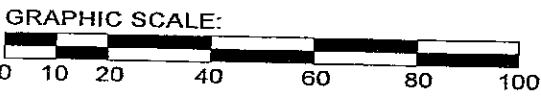


LINE TABLE:

L1	S.66° 47'07"W.	- 10.00'
L2	S.23° 12'53"E.	- 16.00'
L3	N.23° 12'53"W.	- 16.00'
L4	S.66° 47'07"W.	- 10.00'



PHASE 4 - SITE PLAN (PROPOSED)



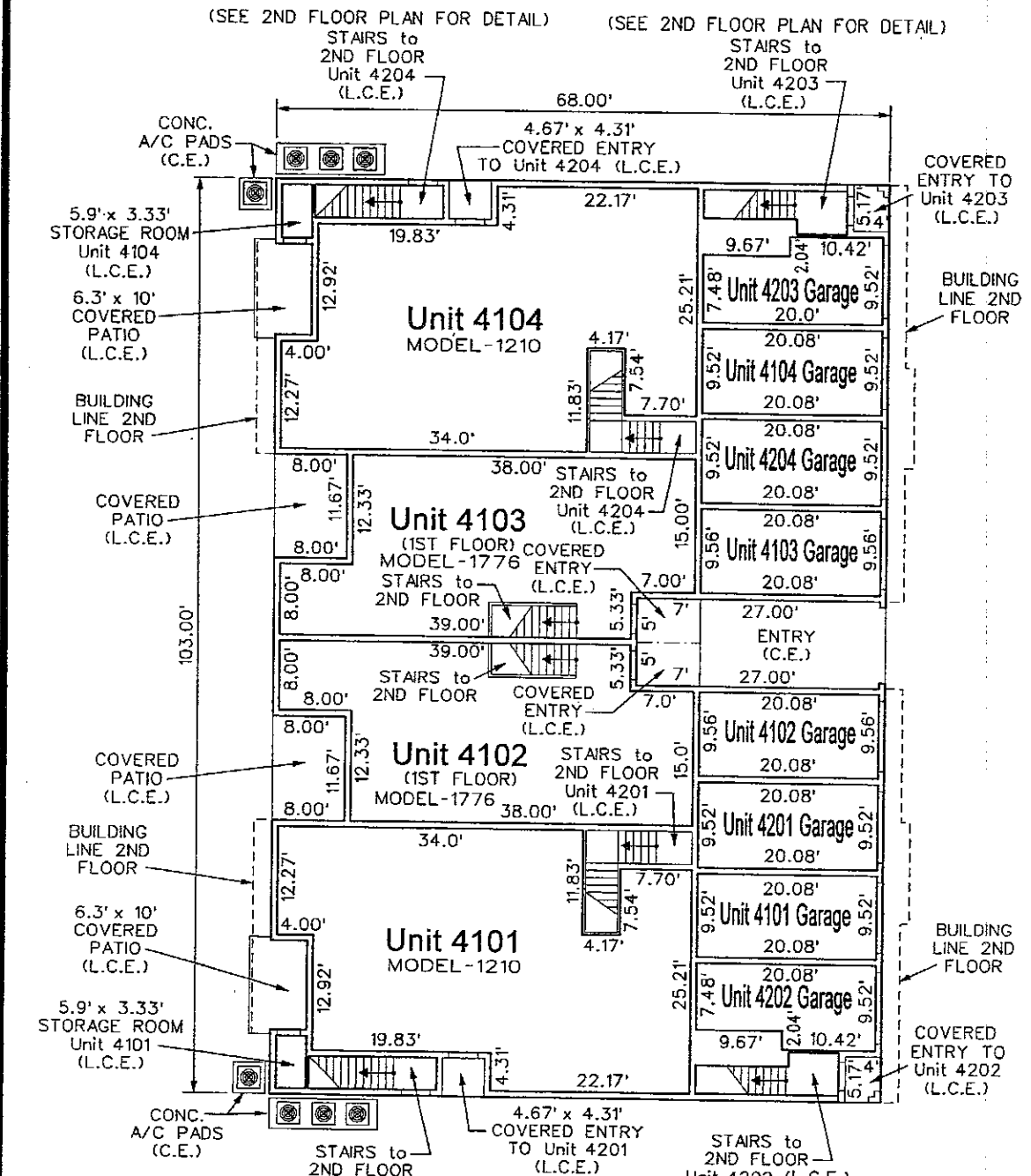
SCALE: 1"=30'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
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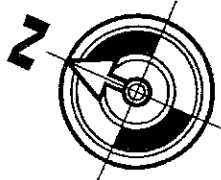
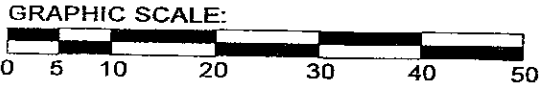
LEXINGTON LAKES, A CONDOMINIUM PHASE 4



Note: (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

PHASE 4 - BUILDING 1ST FLOOR PLAN:

UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90



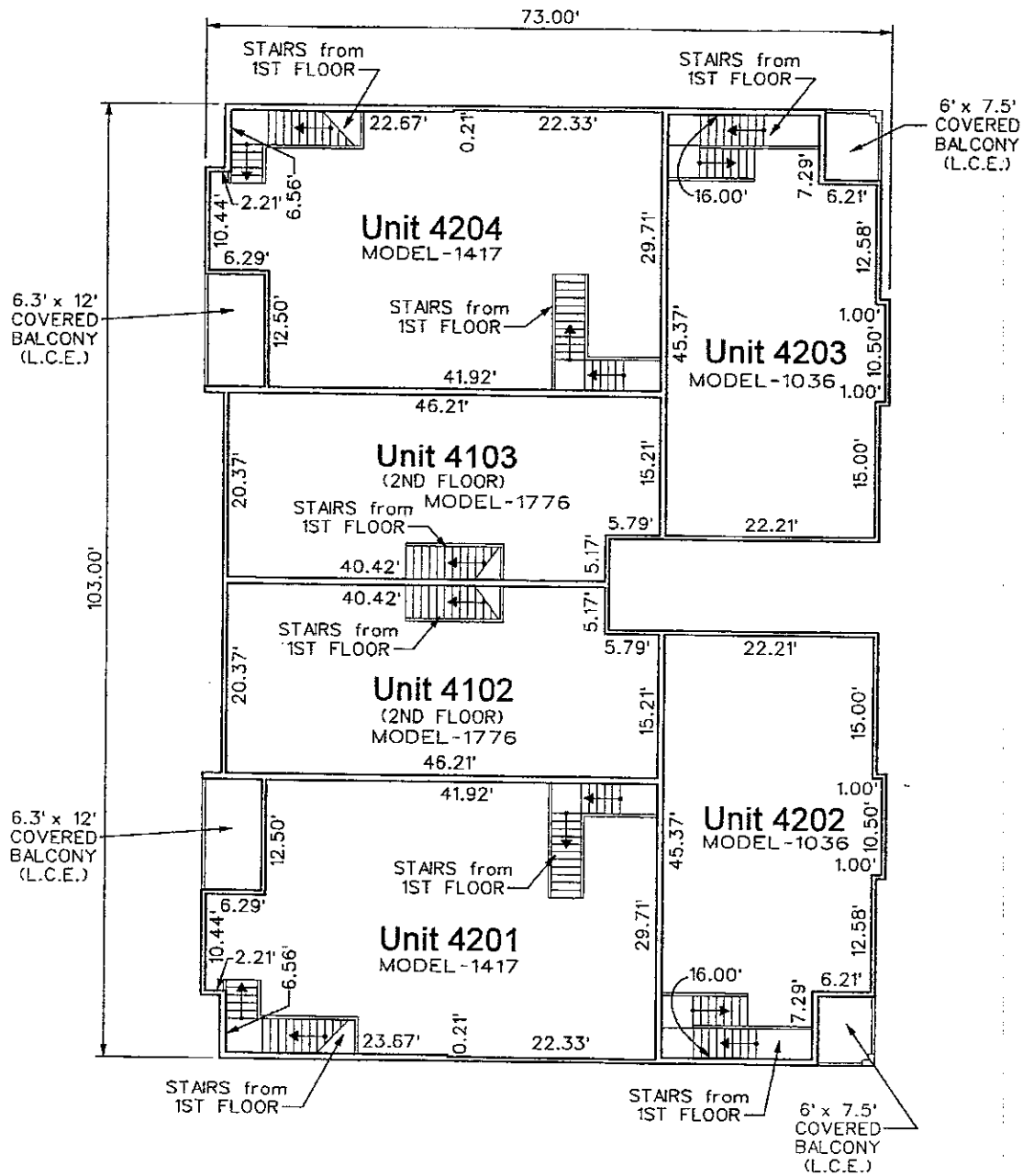
SCALE: 1"=15'

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

LEXINGTON LAKES, A CONDOMINIUM PHASE 4



**PHASE 4 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

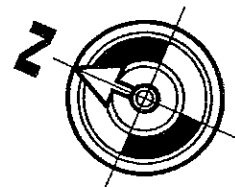
REVISIONS:

- 1.)
- 2.)
- 3.)
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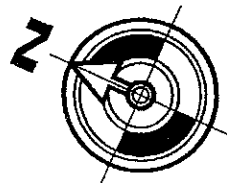
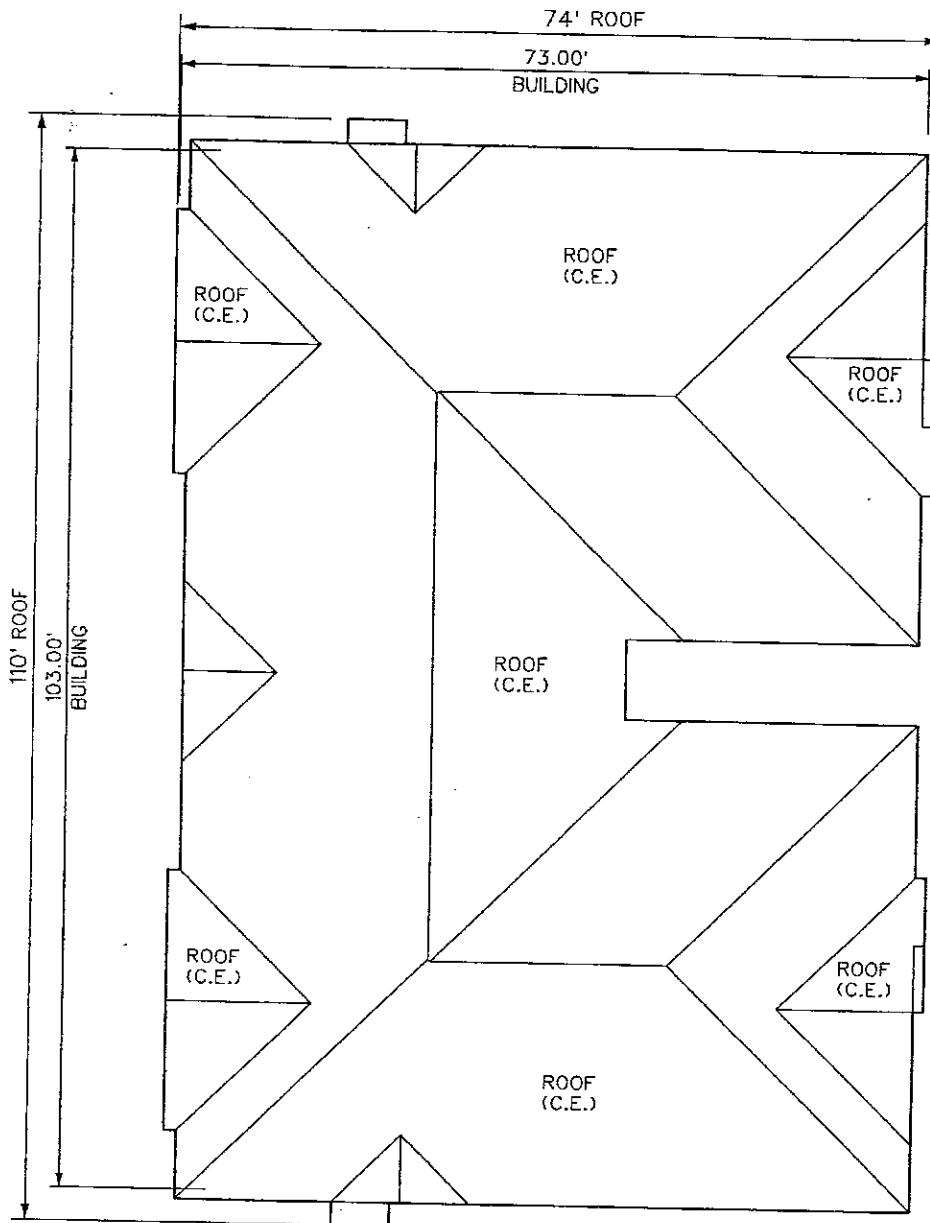
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS

3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

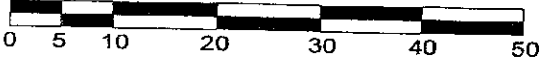


LEXINGTON LAKES, A CONDOMINIUM PHASE 4



**PHASE 4 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

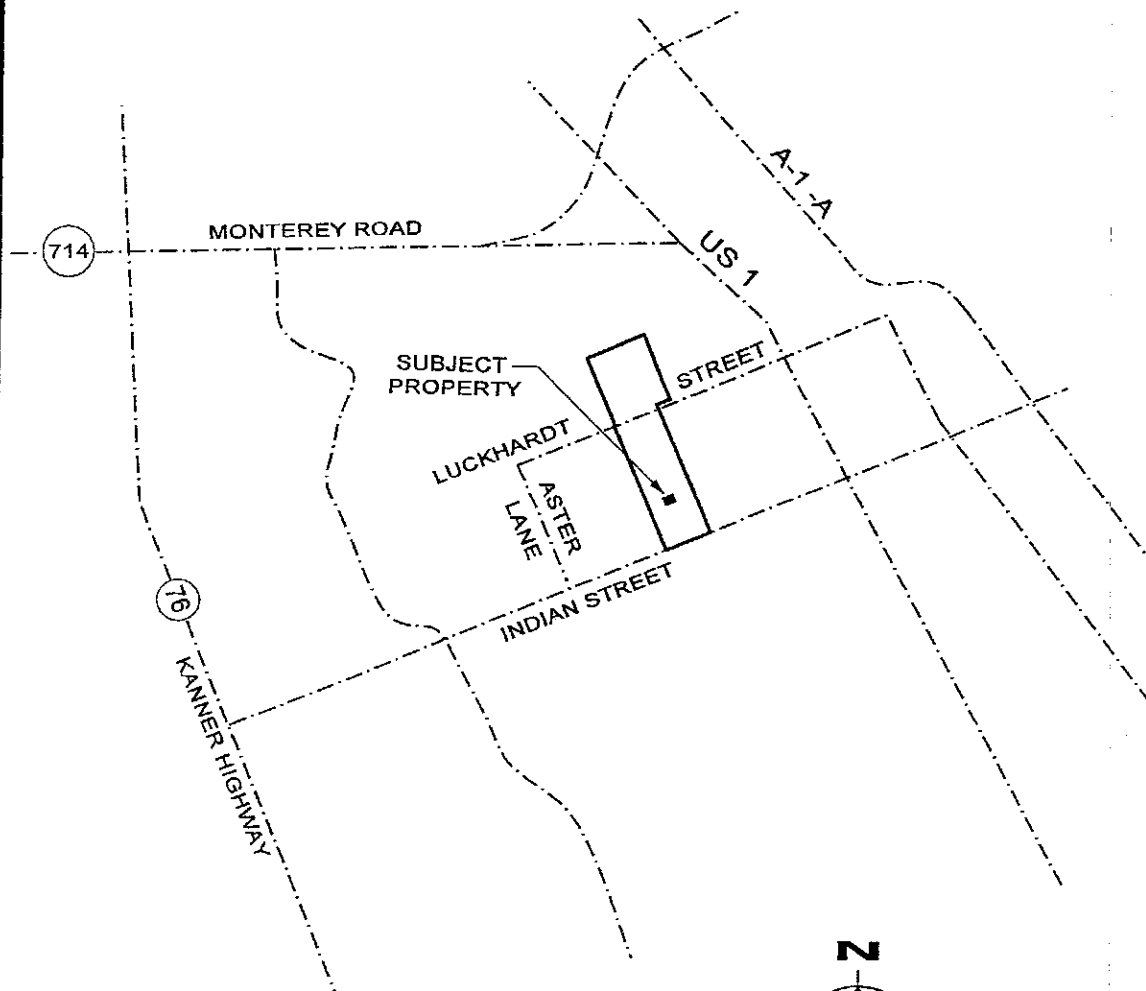
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

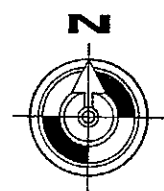
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 | SHEET 5 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 5



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 5

LEGAL DESCRIPTION:

A portion of Lots 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 595.41 feet; thence N.66°47'06"E., a distance of 198.77 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'07"E., a distance of 113.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A






ABBREVIATIONS:






A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAYEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHDRD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or  CENTERLINE
 B/L or  BASELINE
 ELEVATION, AS-BUILT
 ELEVATION, PROPOSED
 FLOW ARROW

 EDGE OF WATER
 MANHOLE, SANITARY SEWER
 MANHOLE, STORM DRAINAGE
 CATCH BASIN
 FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 5 - LEGAL DESCRIPTION

EXHIBIT "B"

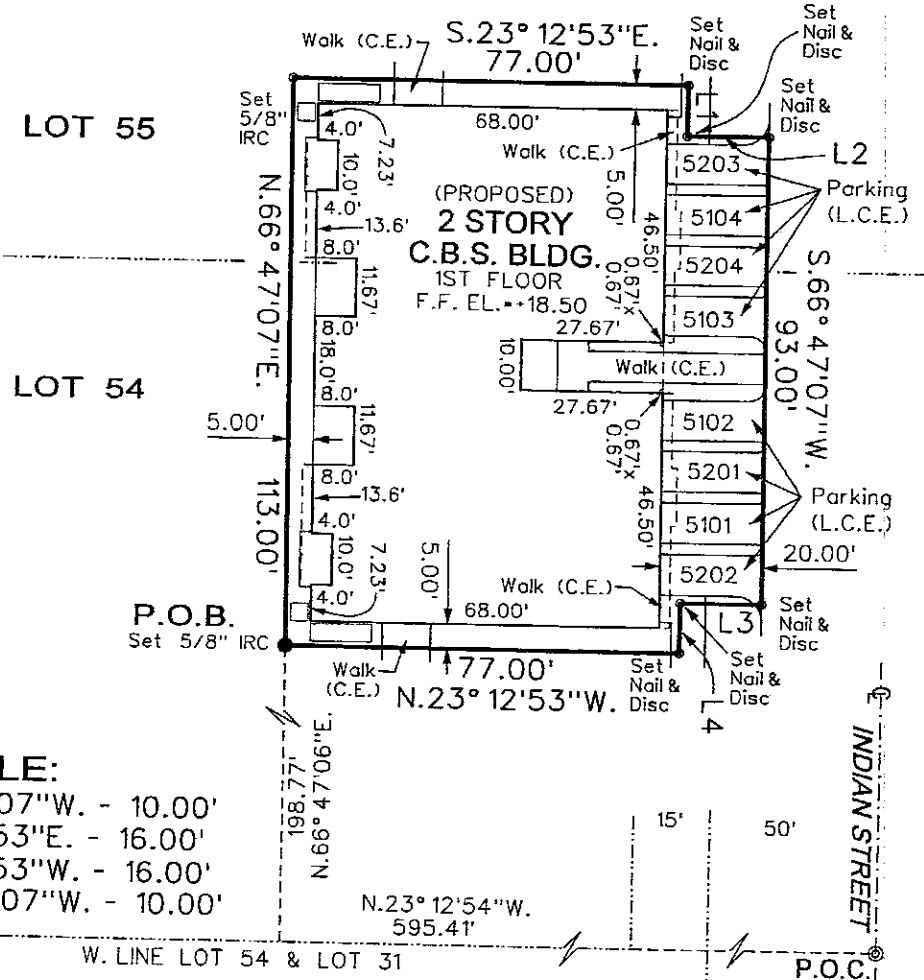
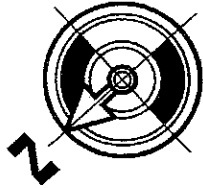
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

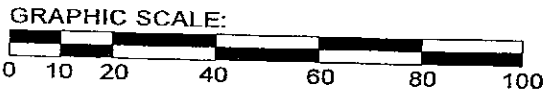
LEXINGTON LAKES, A CONDOMINIUM PHASE 5



LINE TABLE:

L1	S.66° 47'07"W.	- 10.00'
L2	S.23° 12'53"E.	- 16.00'
L3	N.23° 12'53"W.	- 16.00'
L4	S.66° 47'07"W.	- 10.00'

PHASE 5 - SITE PLAN (PROPOSED)



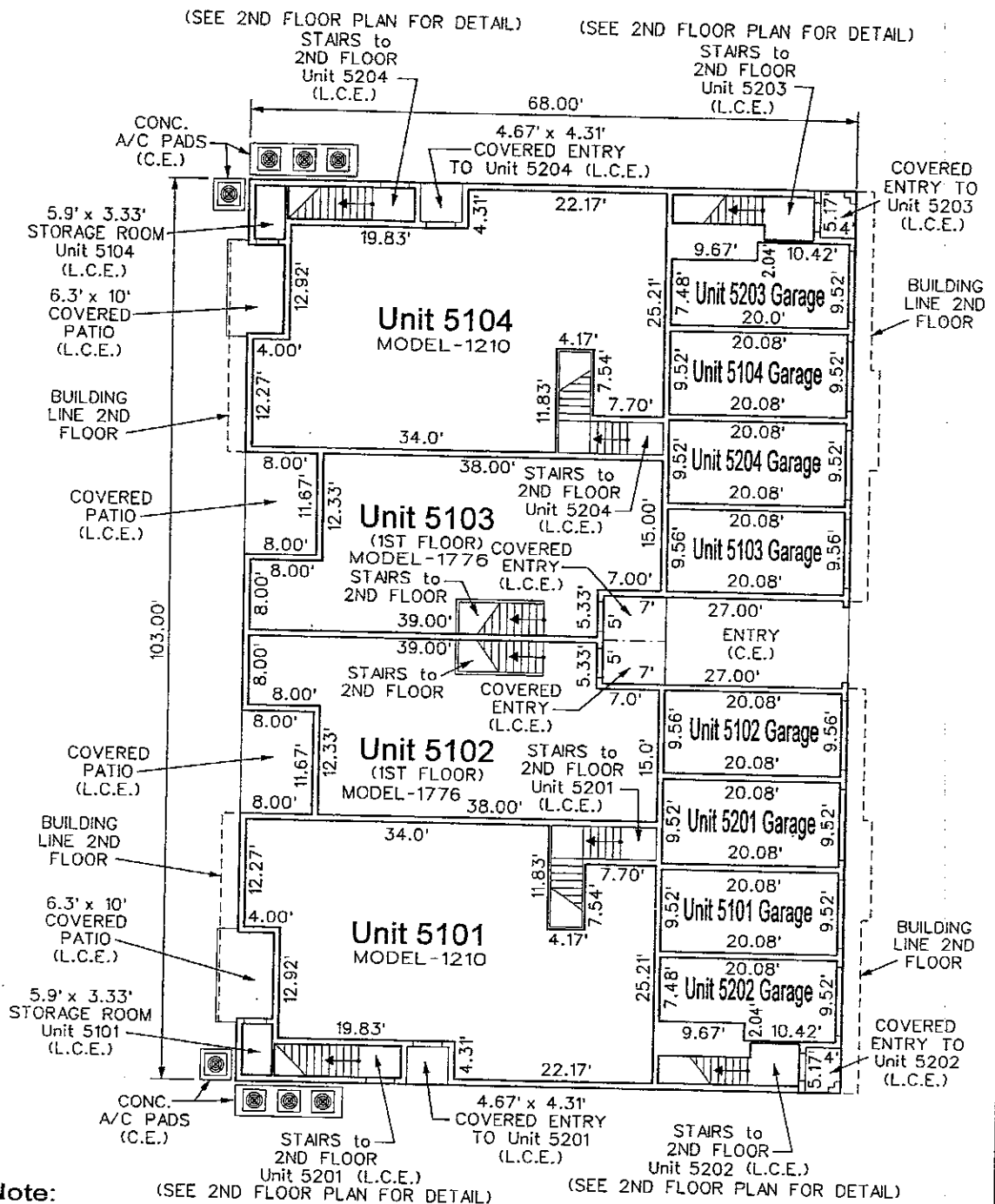
SCALE: 1"=30'

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:**
- 1.)
 - 2.)
 - 3.)
 - 4.)

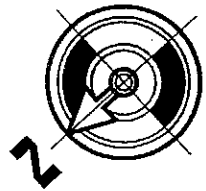
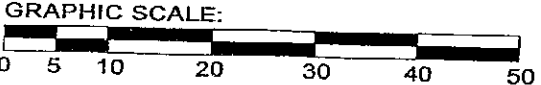
LEXINGTON LAKES, A CONDOMINIUM PHASE 5



Note: (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

**PHASE 5 - BUILDING
1ST FLOOR PLAN:**

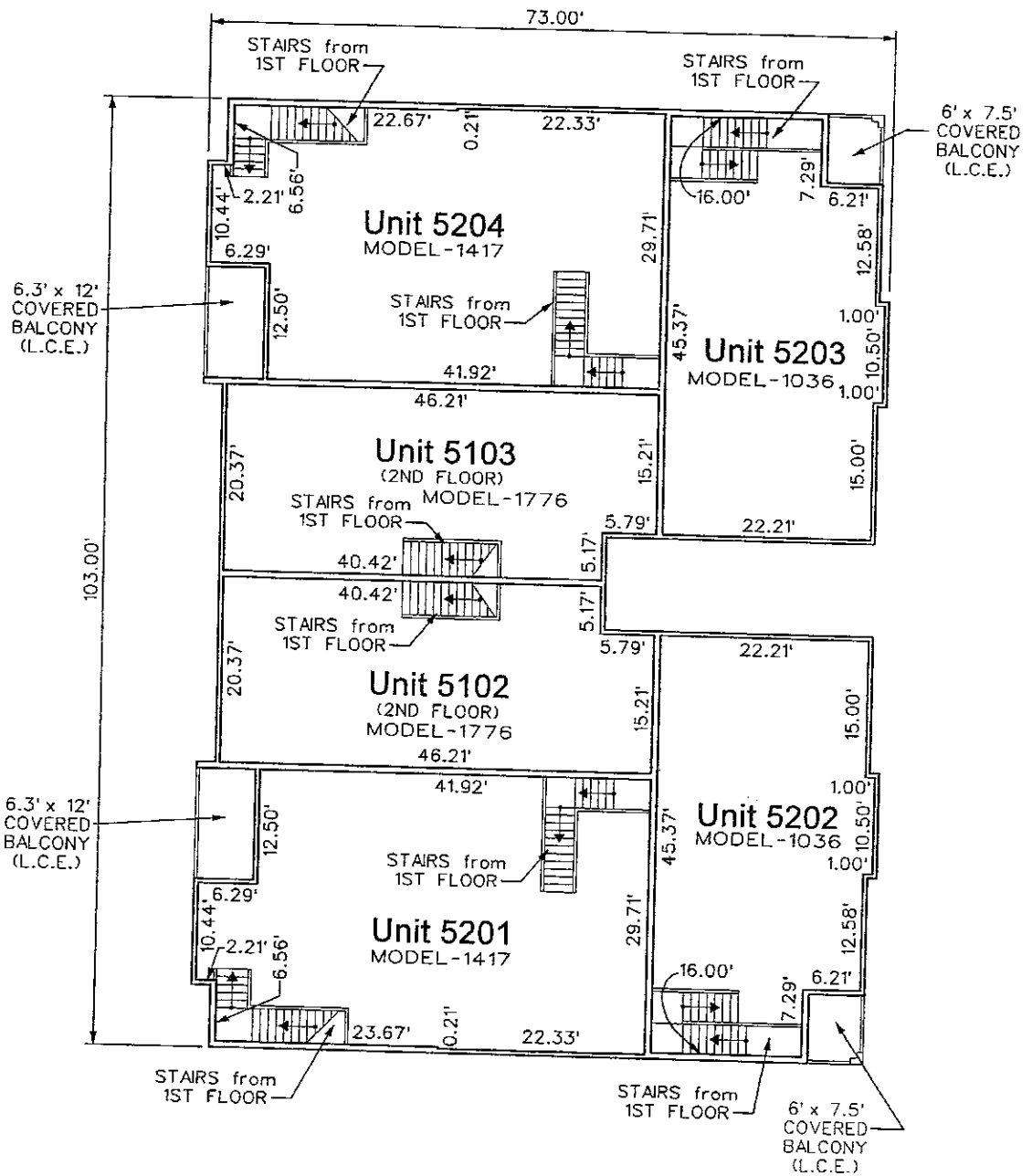
UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90



SCALE: 1"=15'
EXHIBIT "B"
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:
 1.)
 2.)
 3.)
 4.)
 DATE: APRIL 2004 SHEET 4 OF 6 SHEETS

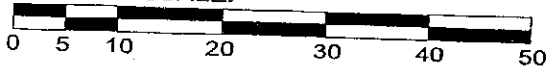
LEXINGTON LAKES, A CONDOMINIUM PHASE 5



**PHASE 5 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



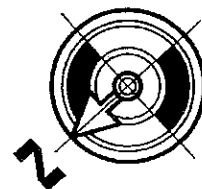
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EXHIBIT "B"

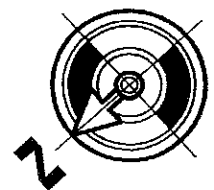
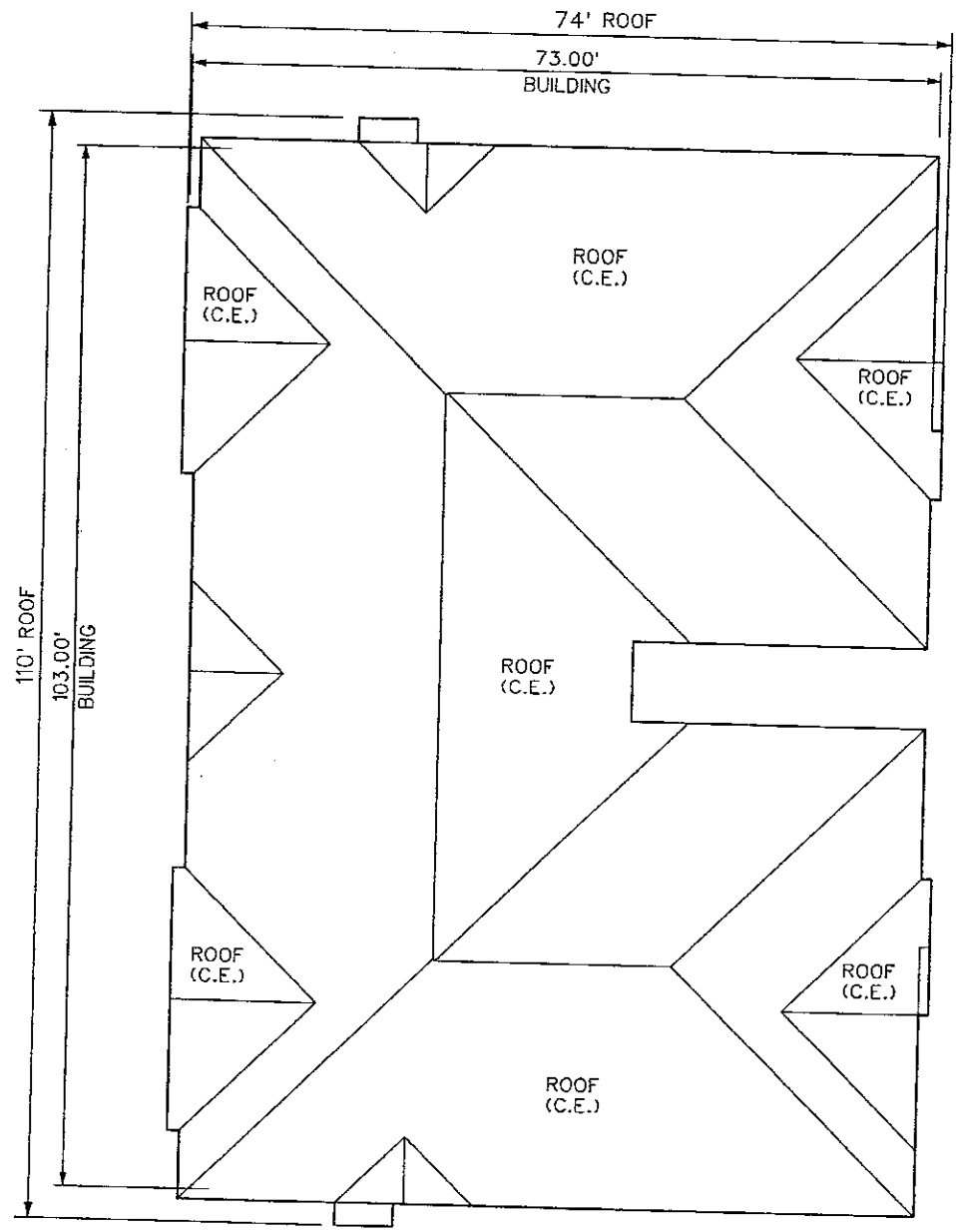
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS



LEXINGTON LAKES, A CONDOMINIUM PHASE 5



**PHASE 5 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



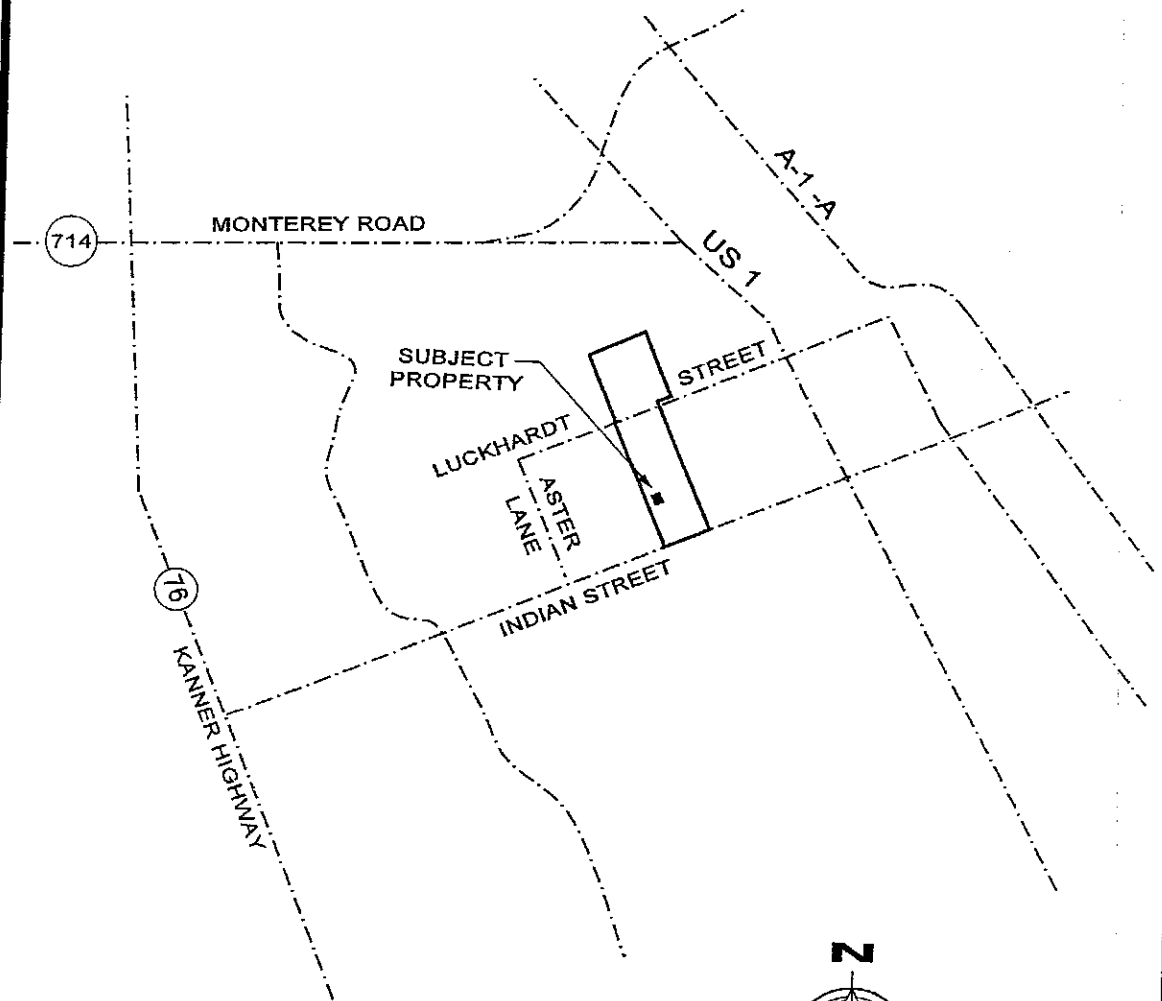
SCALE: 1"=15'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 6



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY:

THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061,
STATE OF FLORIDA

DATE: APRIL 2004

NOT VALID UNLESS
EMBOSSSED WITH
RAISED SEAL OF
ATTESTING REGISTERED
LAND SURVEYOR

EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS.

LEXINGTON LAKES, A CONDOMINIUM PHASE 6

LEGAL DESCRIPTION:

A portion of Lot 54, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 524.15 feet; thence N.66°47'06"E., a distance of 79.56 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'09"W., a distance of 93.00 feet; thence N.66°47'51"E., a distance of 16.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence N.66°47'51"E., a distance of 77.00 feet; thence S.23°12'09"E., a distance of 113.00 feet; thence S.66°47'51"W., a distance of 77.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.66°47'51"W., a distance of 16.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 5772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER
B/L or 	BASELINE		MANHOLE, SANITARY SEWER
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE
	ELEVATION, PROPOSED		CATCH BASIN
	FLOW ARROW		FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 6 - LEGAL DESCRIPTION

EXHIBIT "B"

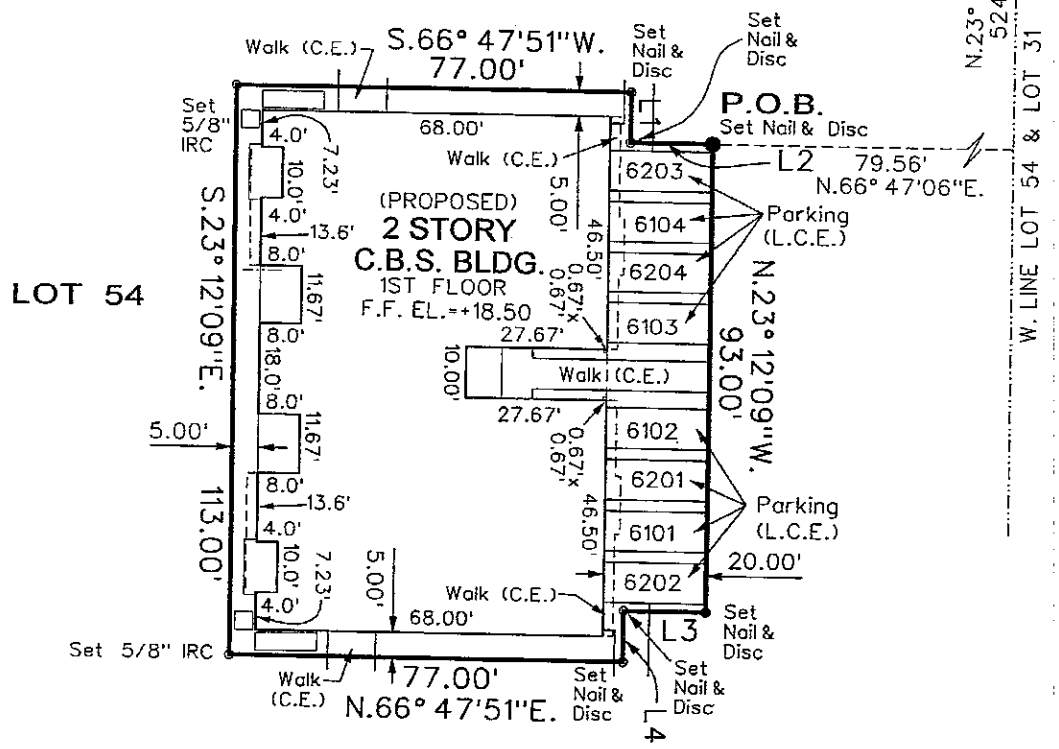
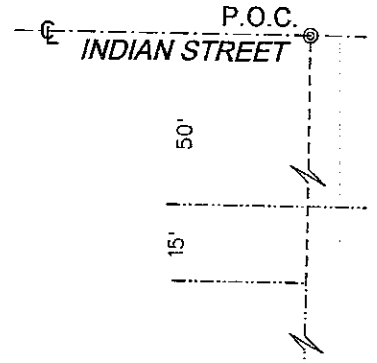
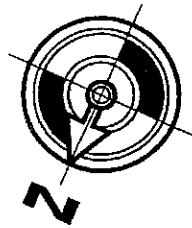
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

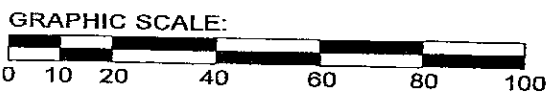
LEXINGTON LAKES, A CONDOMINIUM PHASE 6



LINE TABLE:

L1	N.23° 12' 09" W.	- 10.00'
L2	S.66° 47' 51" W.	- 16.00'
L3	N.66° 47' 51" E.	- 16.00'
L4	N.23° 12' 09" W.	- 10.00'

PHASE 6 - SITE PLAN (PROPOSED)



SCALE: 1"=30'

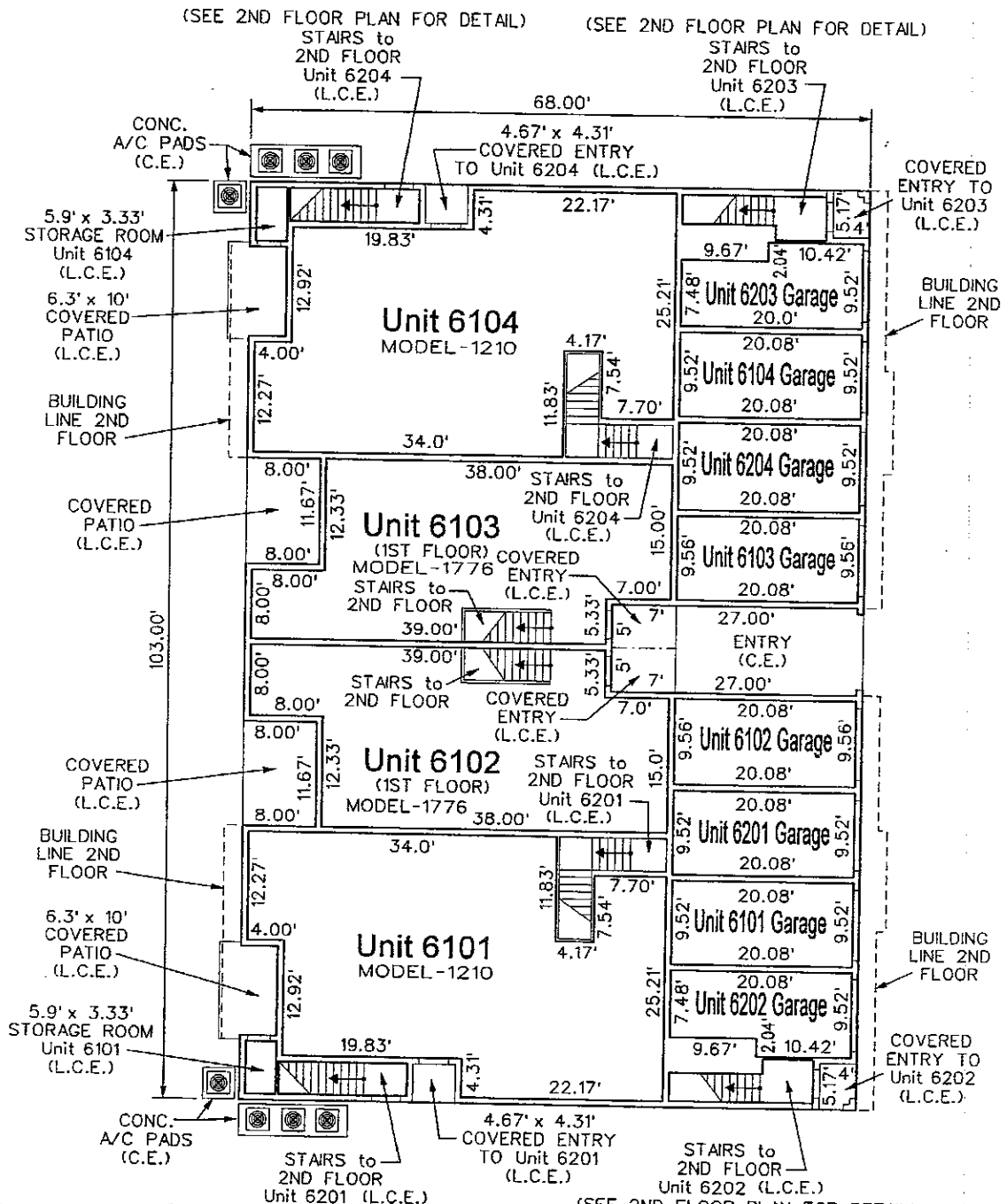
EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
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DATE: APRIL 2004 SHEET 3 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 6

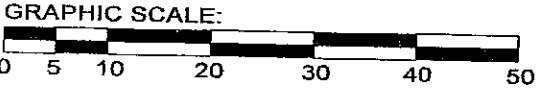


Note: (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL)

CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

**PHASE 6 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90



SCALE: 1"=15'

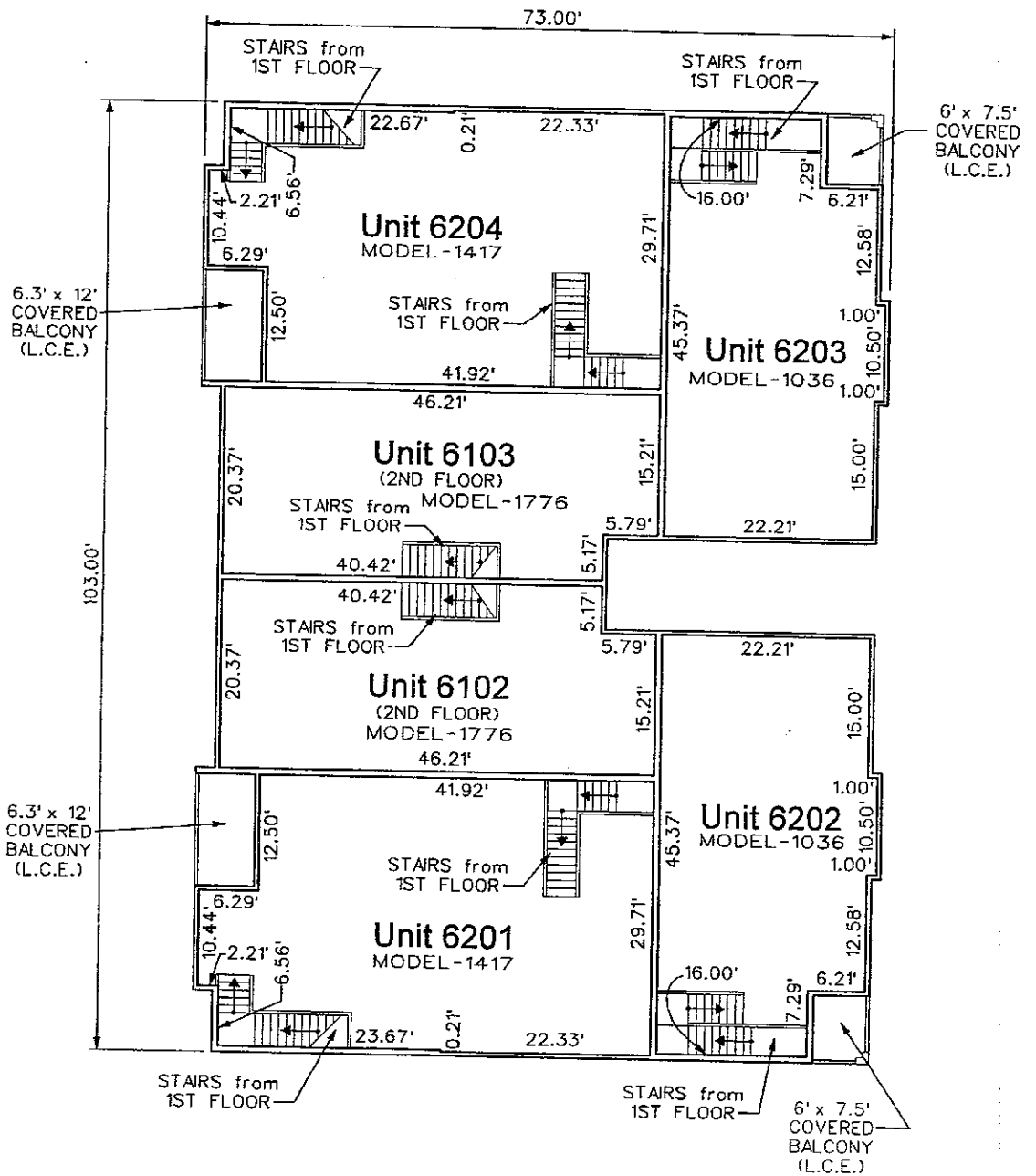
EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)



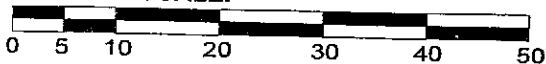
LEXINGTON LAKES, A CONDOMINIUM PHASE 6



**PHASE 6 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

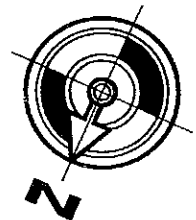
EXHIBIT "B"

REVISIONS:

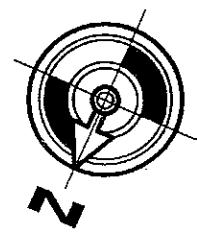
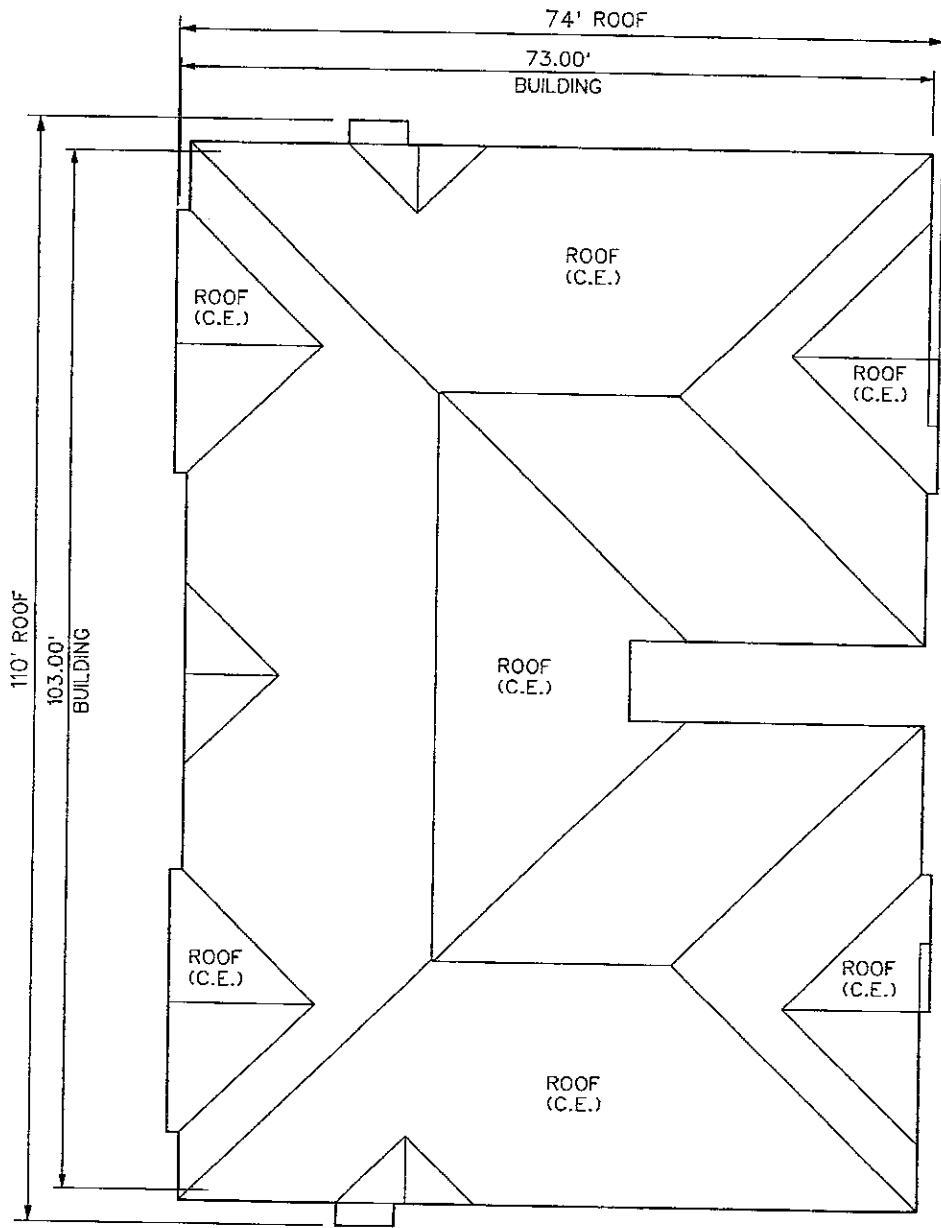
- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

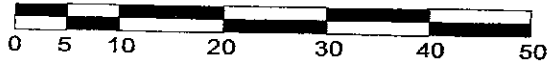


LEXINGTON LAKES, A CONDOMINIUM PHASE 6



**PHASE 6 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

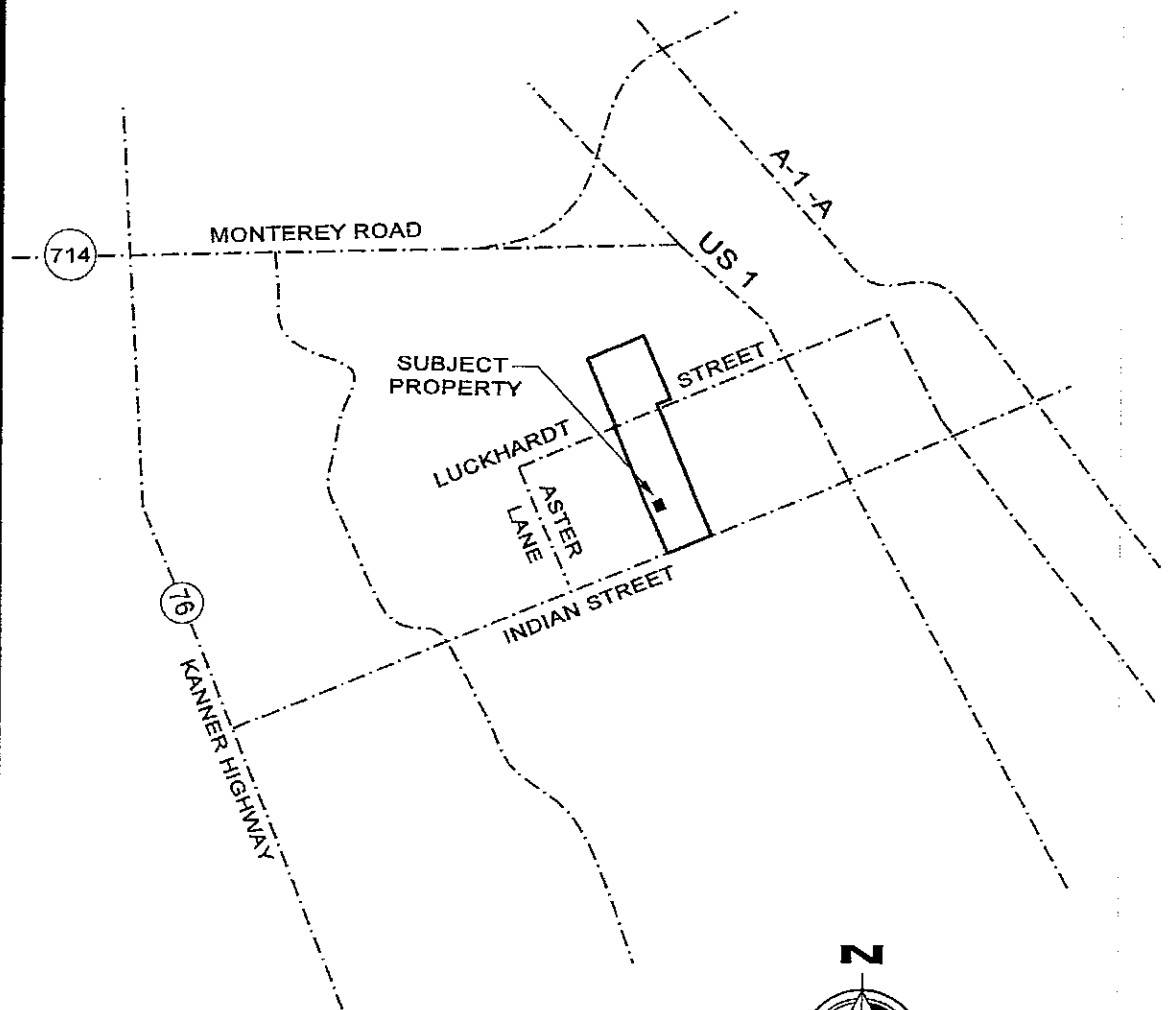
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 7



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida; Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 7

LEGAL DESCRIPTION:

A portion of Lot 54, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 665.02 feet; thence N.66°47'06"E., a distance of 83.12 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'09"W., a distance of 93.00 feet; thence N.66°47'51"E., a distance of 16.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence N.66°47'51"E., a distance of 77.00 feet; thence S.23°12'09"E., a distance of 113.00 feet; thence S.66°47'51"W., a distance of 77.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.66°47'51"W., a distance of 16.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	
	ELEVATION, PROPOSED		CATCH BASIN	
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 7 - LEGAL DESCRIPTION

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD., SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

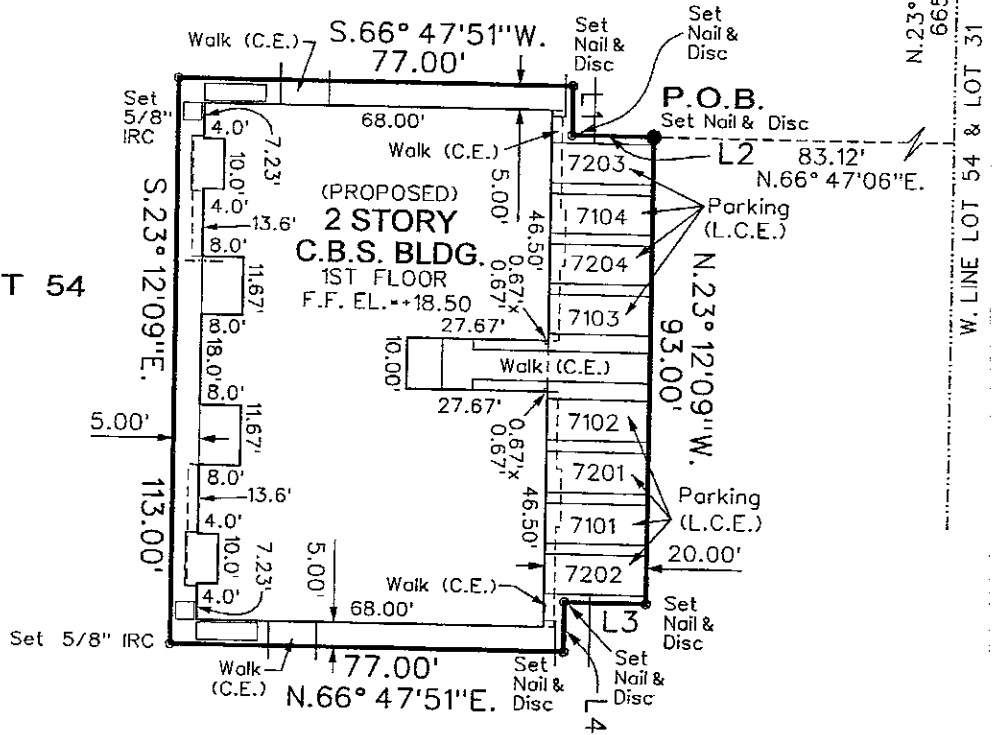
LEXINGTON LAKES, A CONDOMINIUM PHASE 7



P.O.C.
INDIAN STREET

50'
15'

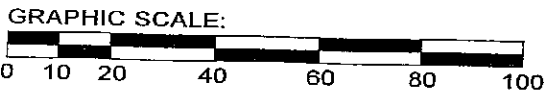
LOT 54



LINE TABLE:

L1	N.23° 12'09"W.	- 10.00'
L2	S.66° 47'51"W.	- 16.00'
L3	N.66° 47'51"E.	- 16.00'
L4	N.23° 12'09"W.	- 10.00'

PHASE 7 - SITE PLAN (PROPOSED)



SCALE: 1"=30'

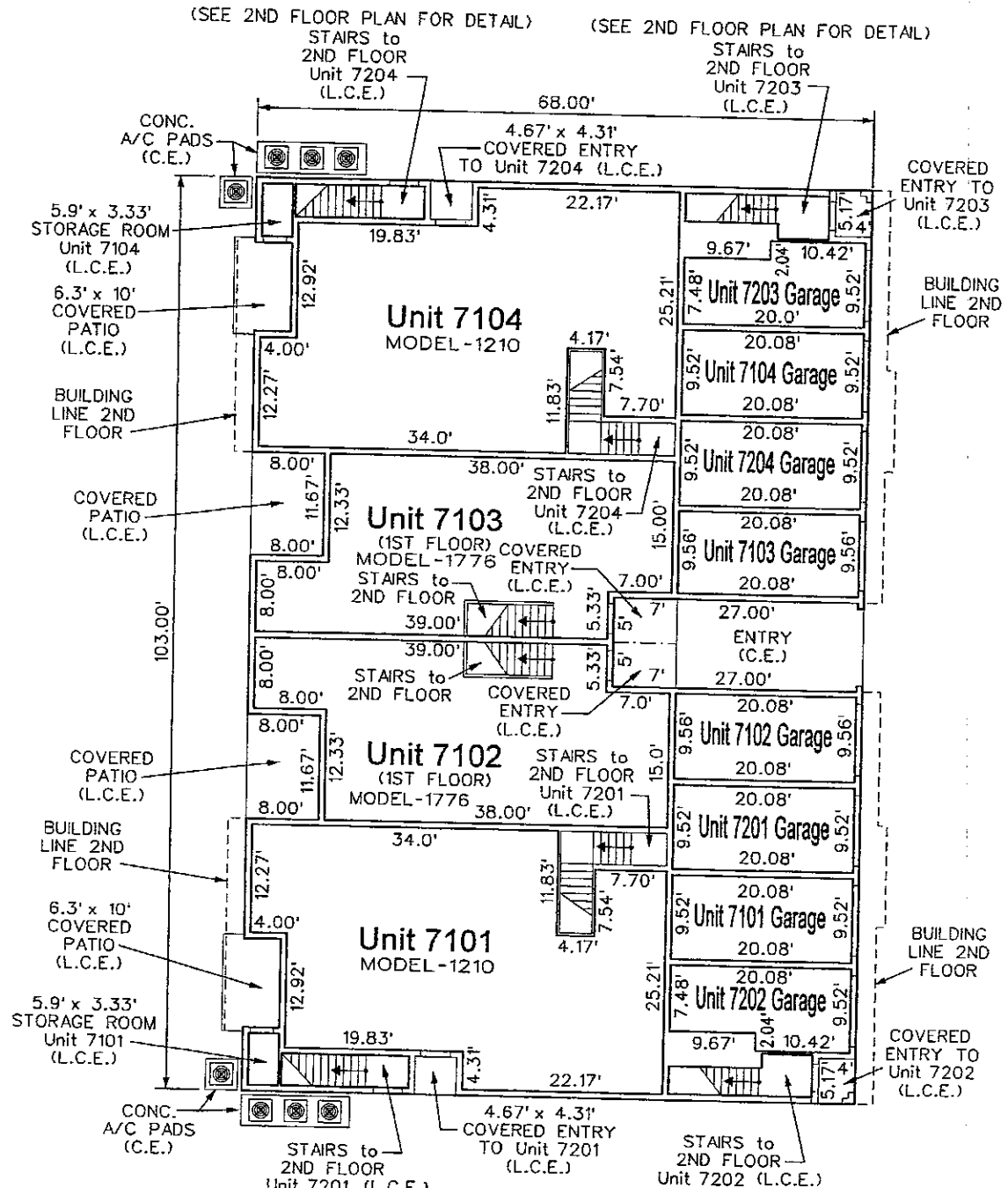
EXHIBIT "B"

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 - 3.)
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HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

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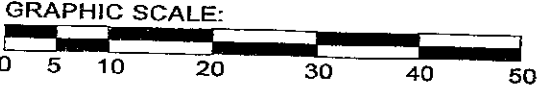
LEXINGTON LAKES, A CONDOMINIUM PHASE 7



Note: (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

PHASE 7 - BUILDING 1ST FLOOR PLAN:

UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90



SCALE: 1"=15'

EXHIBIT "B"

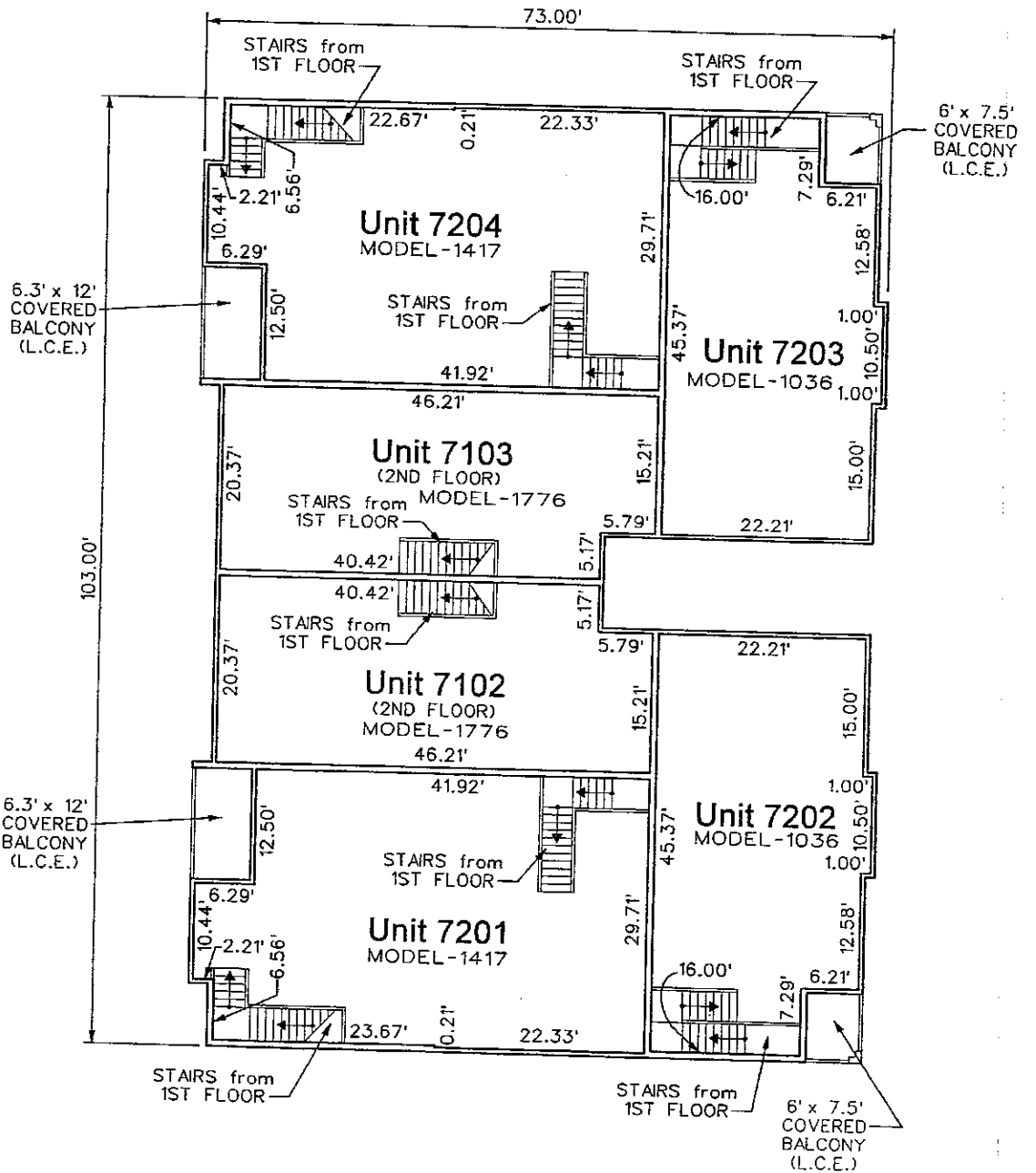
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

DATE: APRIL 2004 SHEET 4 OF 6 SHEETS



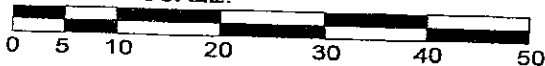
LEXINGTON LAKES, A CONDOMINIUM PHASE 7



**PHASE 7 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

REVISIONS:

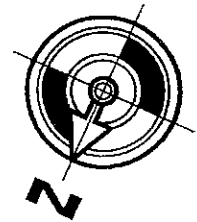
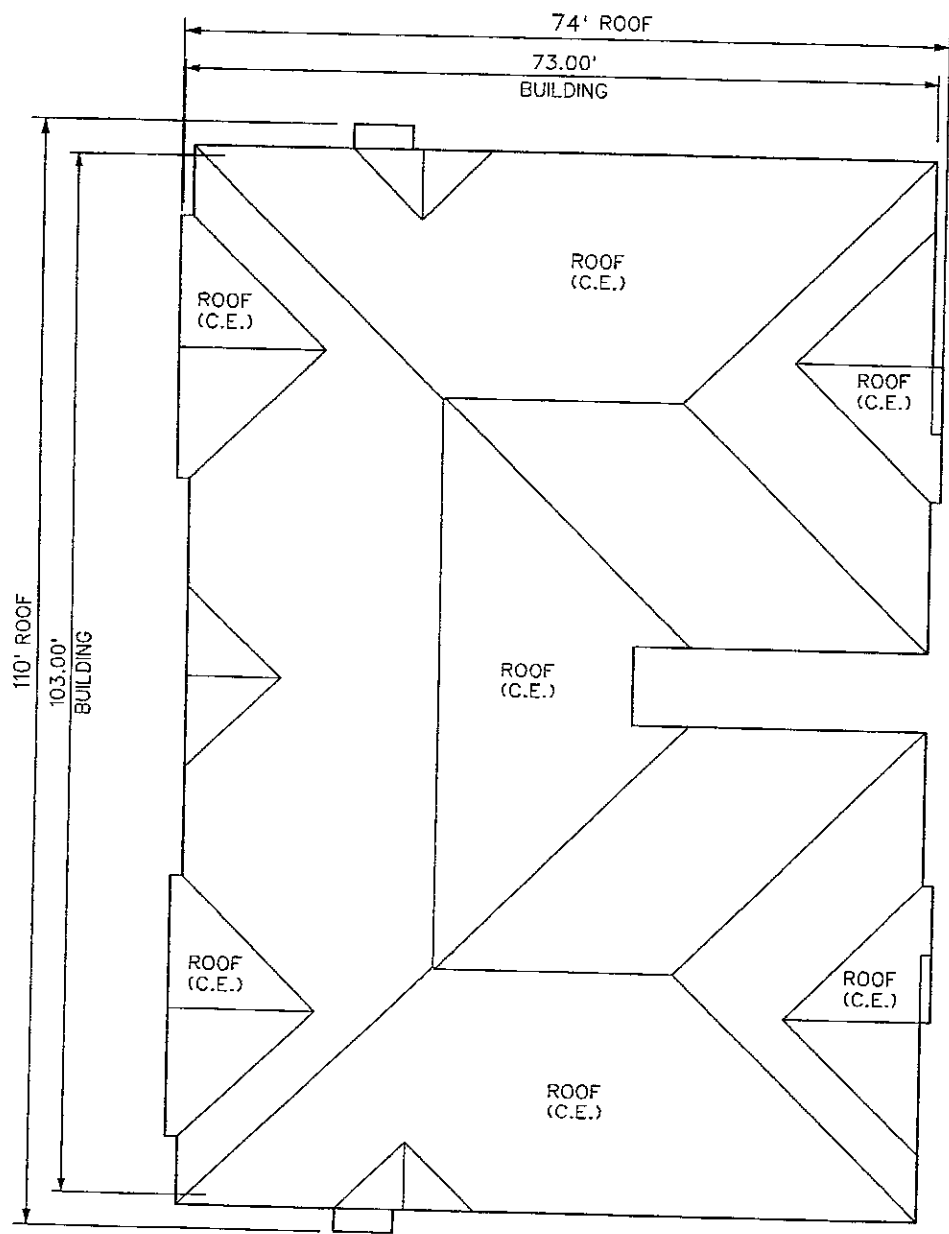
- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

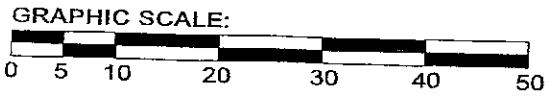
DATE: APRIL 2004 SHEET 5 OF 6 SHEETS



LEXINGTON LAKES, A CONDOMINIUM PHASE 7



**PHASE 7 - BUILDING
ROOF PLAN:**



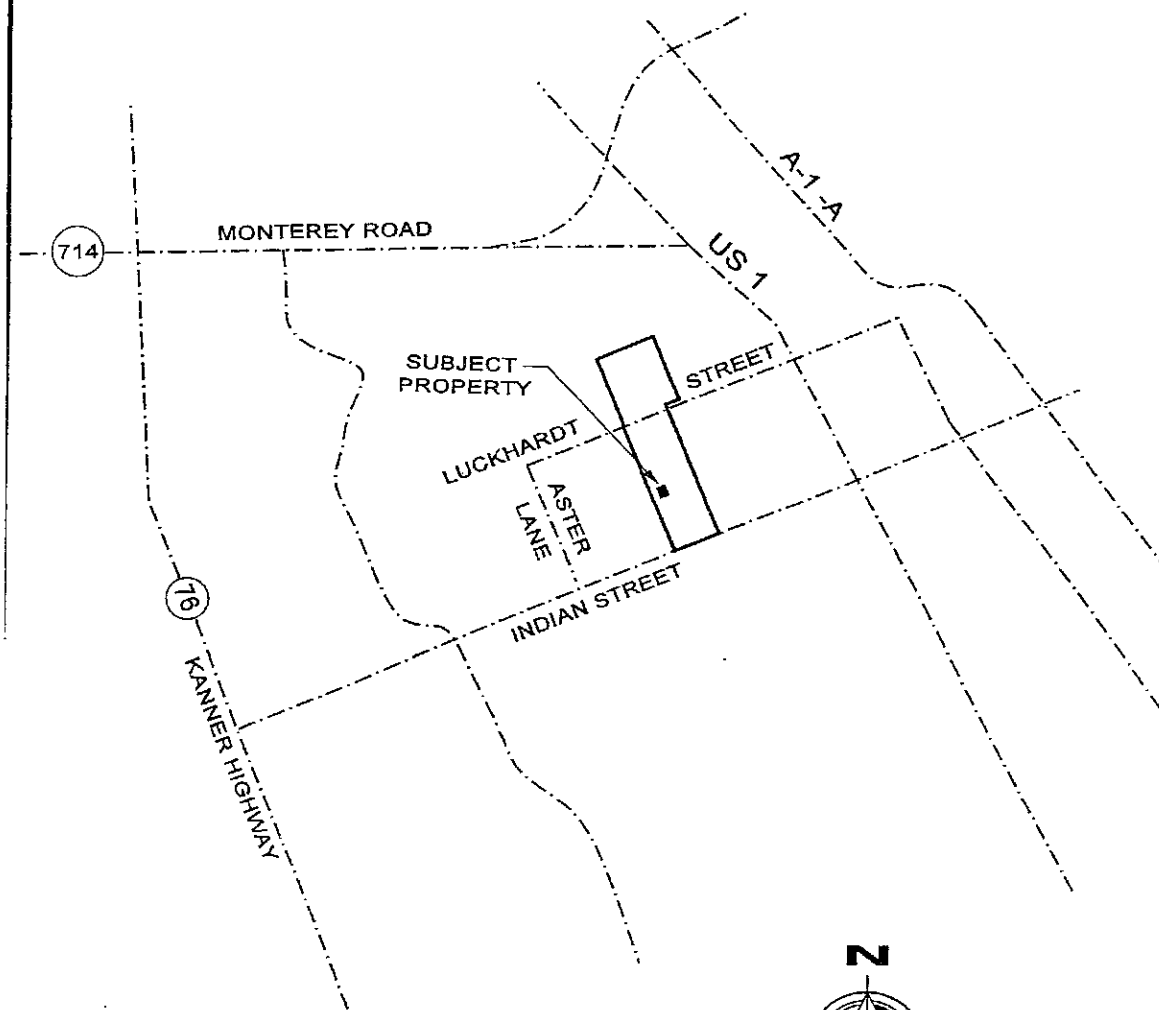
SCALE: 1"=15'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 8



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____

THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
STATE OF FLORIDA

DATE: APRIL 2004

NOT VALID UNLESS
EMBOSSSED WITH
RAISED SEAL OF
ATTESTING REGISTERED
LAND SURVEYOR

EXHIBIT "B"

REVISIONS:
1.)
2.)
3.)
4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 8

LEGAL DESCRIPTION:

A portion of Lots 54 and 31, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 788.02 feet; thence N.66°47'06"E., a distance of 80.35 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'09"W., a distance of 93.00 feet; thence N.66°47'51"E., a distance of 16.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence N.66°47'51"E., a distance of 77.00 feet; thence S.23°12'09"E., a distance of 113.00 feet; thence S.66°47'51"W., a distance of 77.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.66°47'51"W., a distance of 16.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE-	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;
	ELEVATION, PROPOSED		CATCH BASIN	ELEVATION= +16.33 (N.G.V.D.)
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

PHASE 8 - LEGAL DESCRIPTION

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

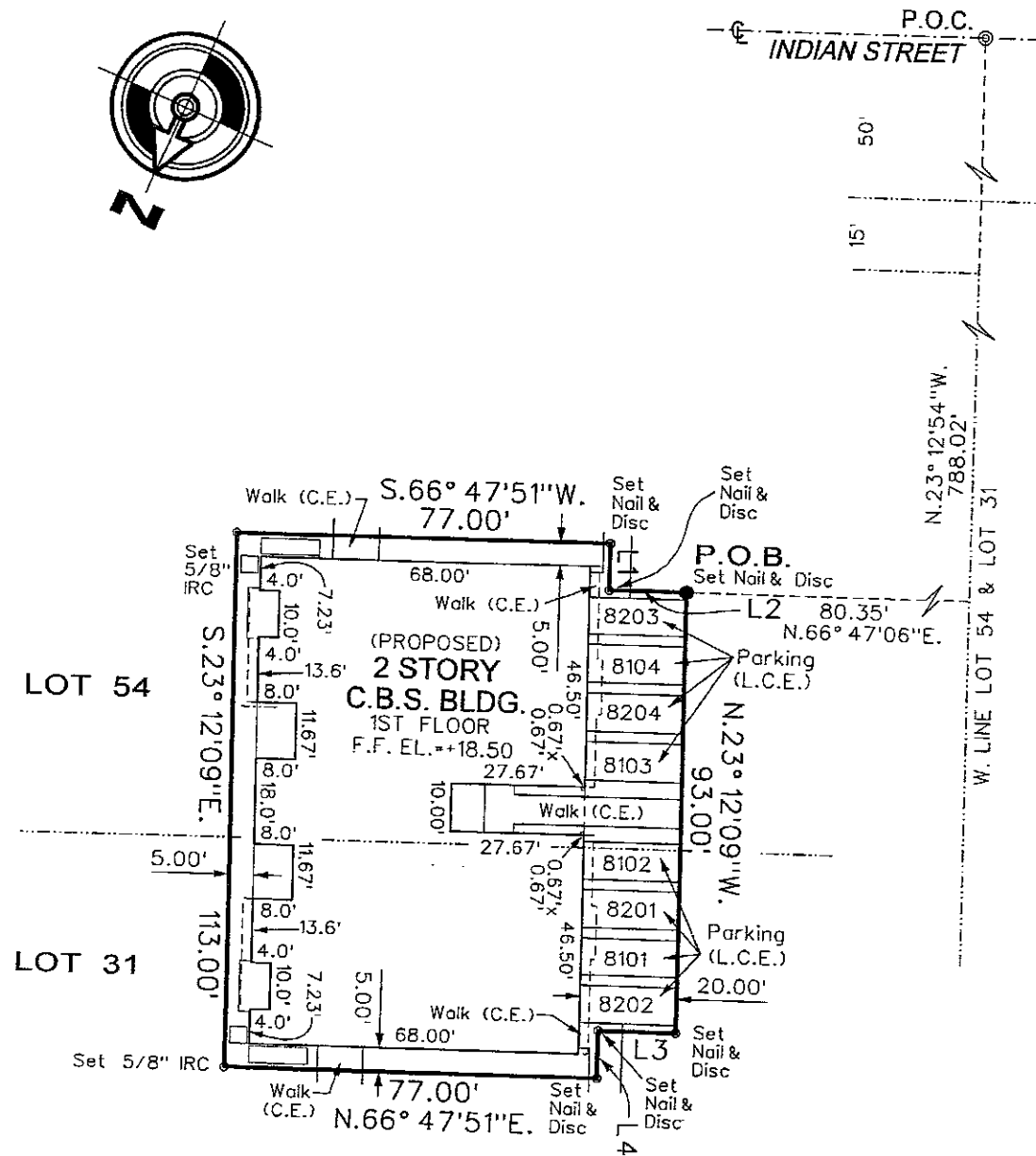
- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 8



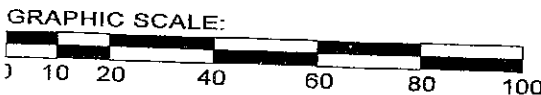
P.O.C.
INDIAN STREET



LINE TABLE:

L1	N.23° 12'09" W.	- 10.00'
L2	S.66° 47'51" W.	- 16.00'
L3	N.66° 47'51" E.	- 16.00'
L4	N.23° 12'09" W.	- 10.00'

PHASE 8 - SITE PLAN (PROPOSED)



SCALE: 1"=30'

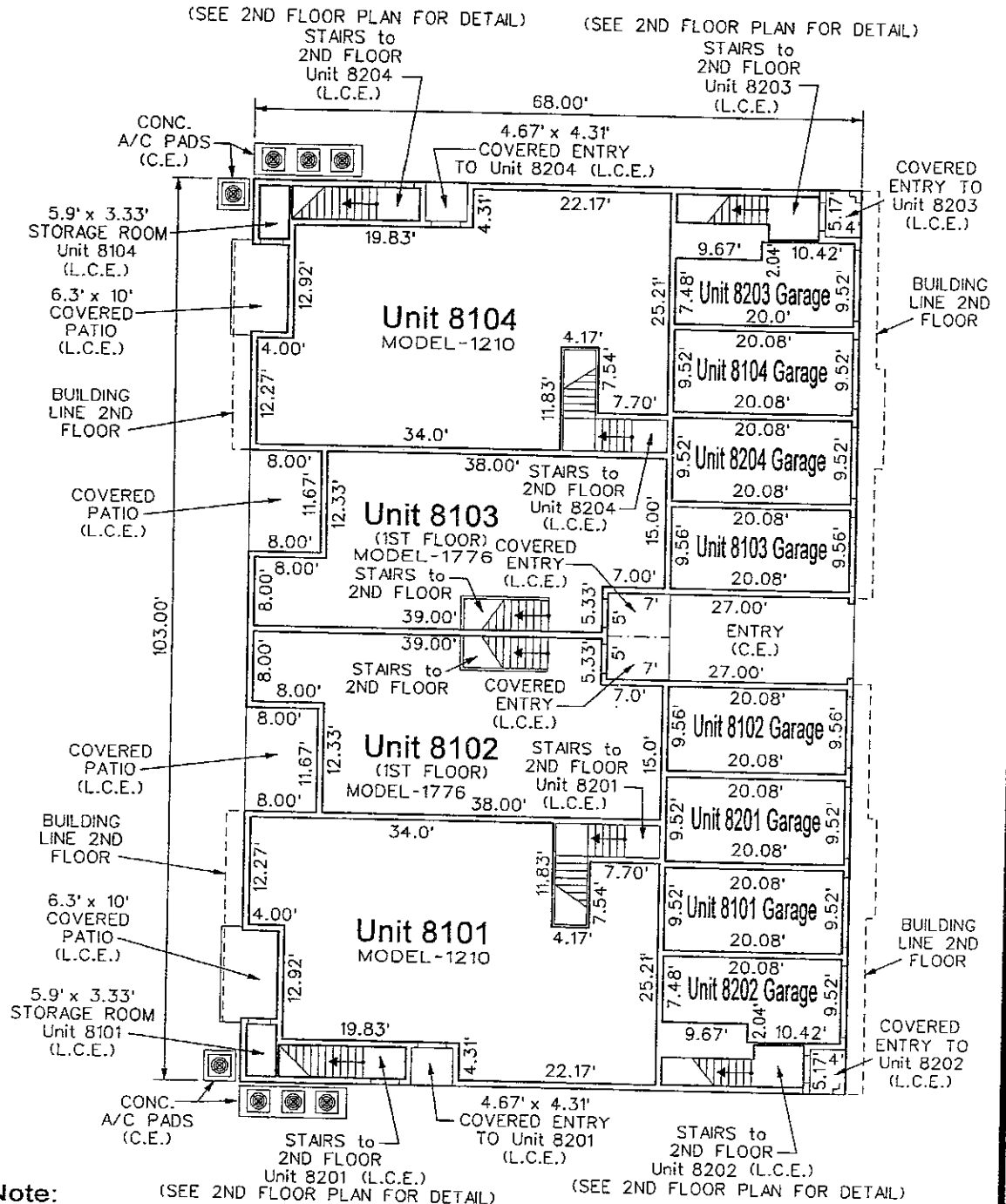
EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

DATE: APRIL 2004 SHEET 3 OF 6 SHEETS

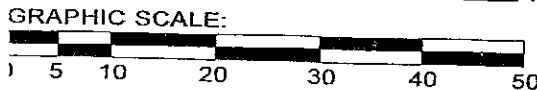
LEXINGTON LAKES, A CONDOMINIUM PHASE 8



Note: (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

**PHASE 8 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): $\frac{+27.83}{+18.50}$ (GARAGE): $\frac{+27.83}{+17.90}$

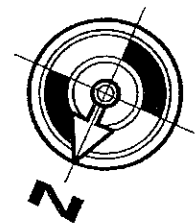


SCALE: 1"=15'

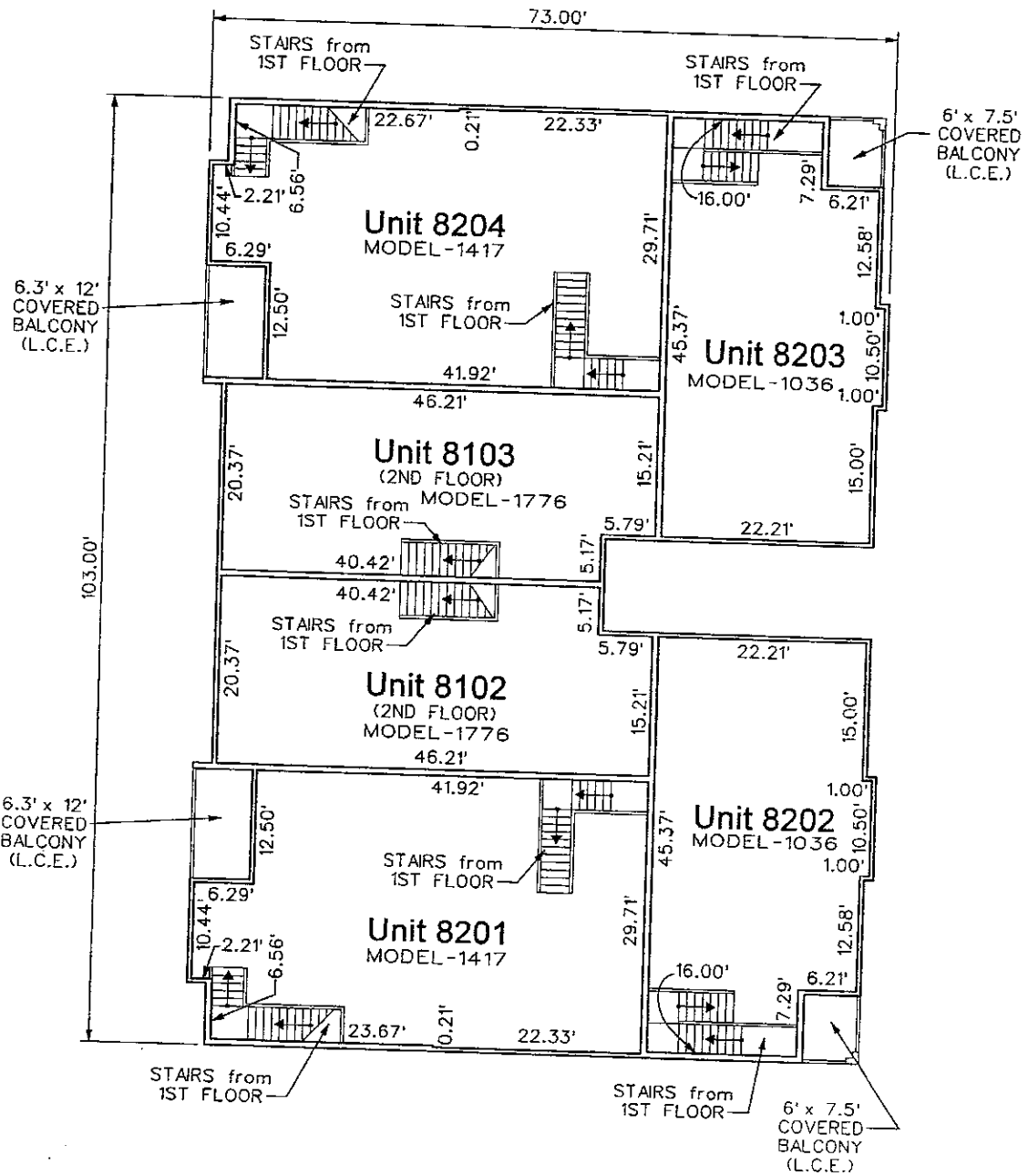
EXHIBIT "B"

JAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 350 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)



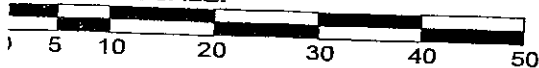
LEXINGTON LAKES, A CONDOMINIUM PHASE 8



**PHASE 8 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

JAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 350 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

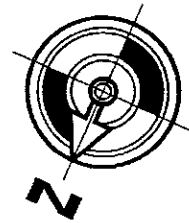
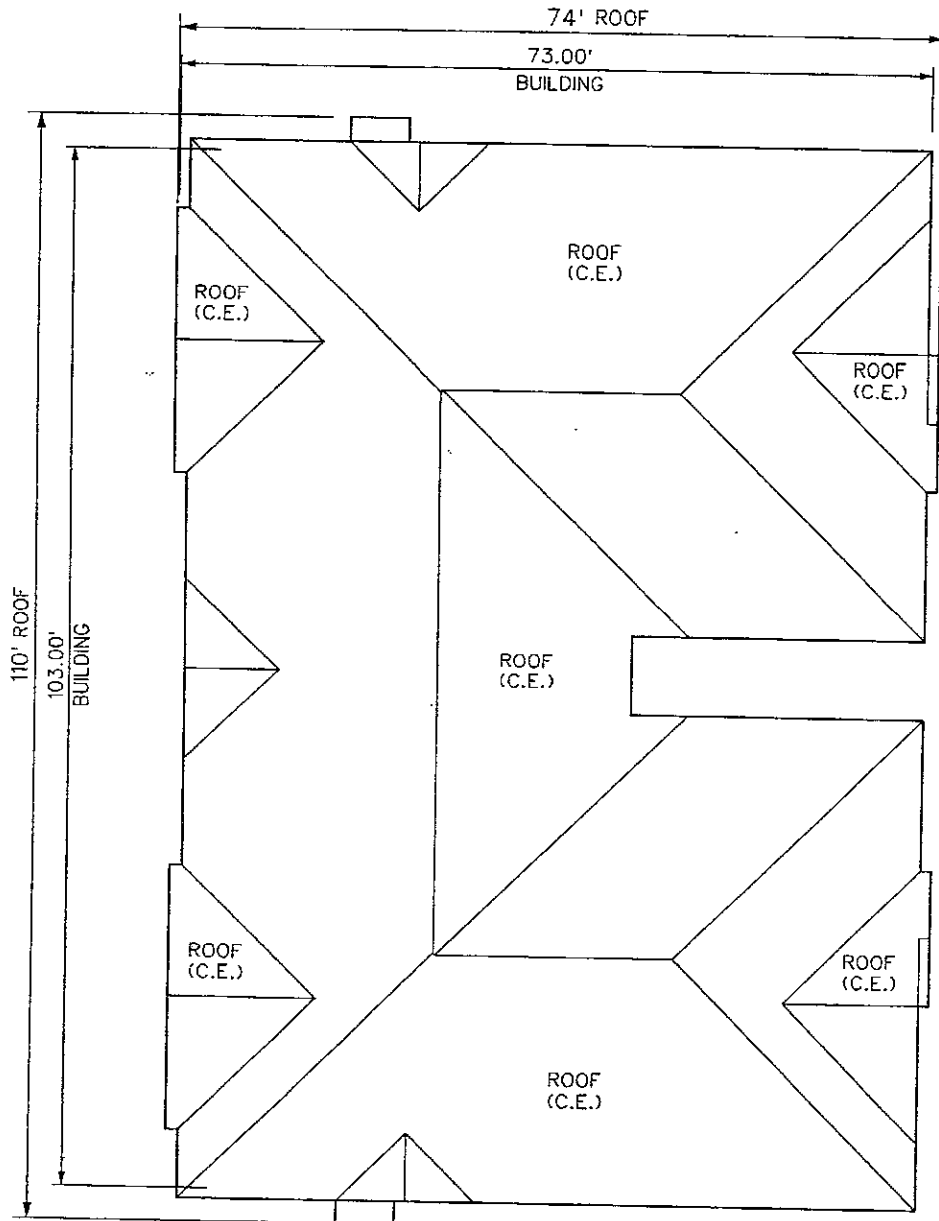
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

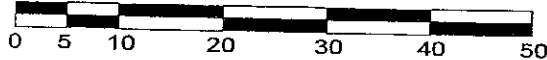


LEXINGTON LAKES, A CONDOMINIUM PHASE 8



**PHASE 8 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



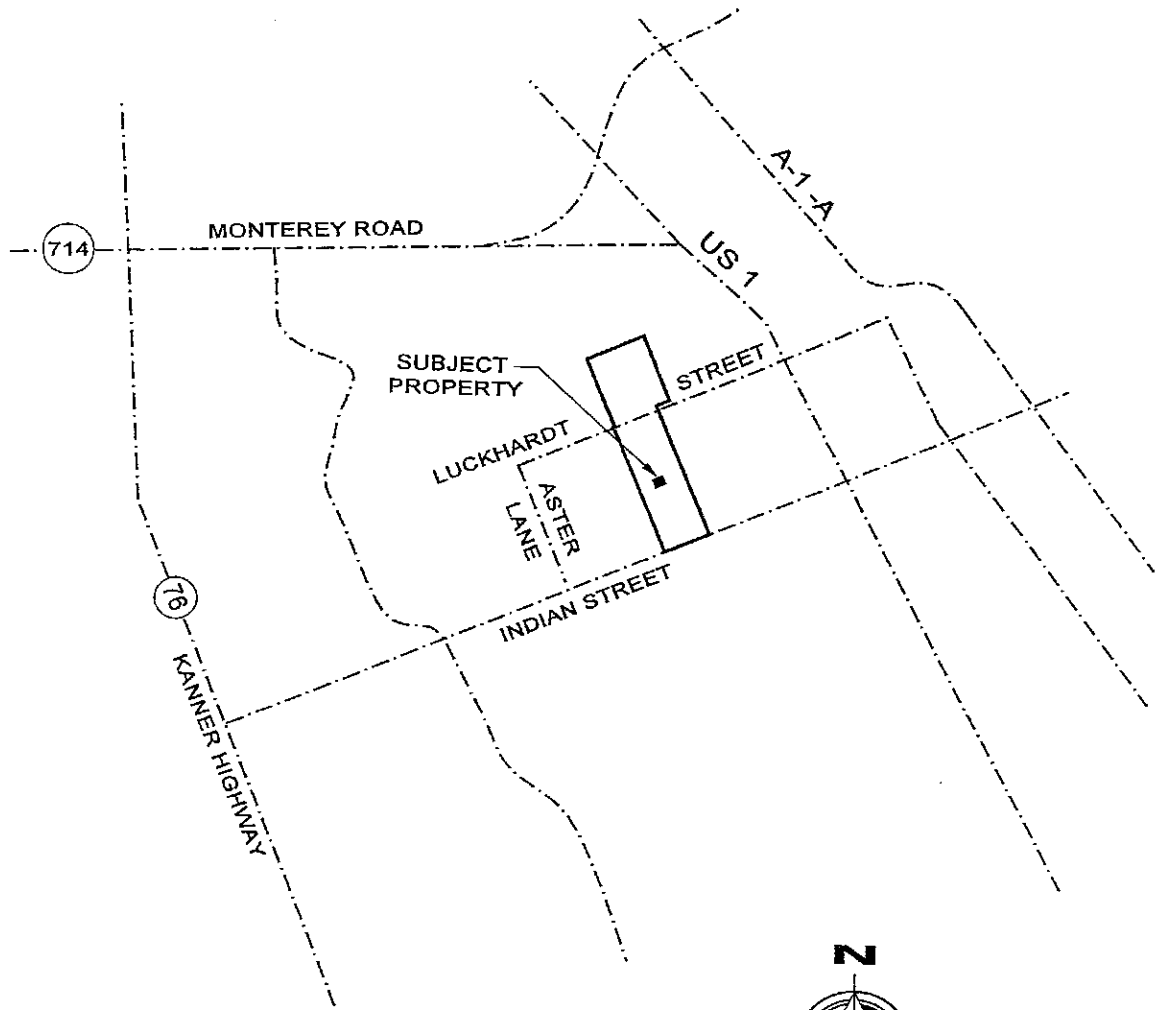
SCALE: 1"=15'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 9



LOCATION MAP:
NOT TO SCALE

SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 9

LEGAL DESCRIPTION:

A portion of Lots 30, 31, 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 816.03 feet; thence N.66°47'06"E., a distance of 199.36 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 93.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.D.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	
 ELEVATION, AS-BUILT			MANHOLE, STORM DRAINAGE	
 ELEVATION, PROPOSED			CATCH BASIN	
 FLOW ARROW			FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 9 - LEGAL DESCRIPTION

EXHIBIT "B"

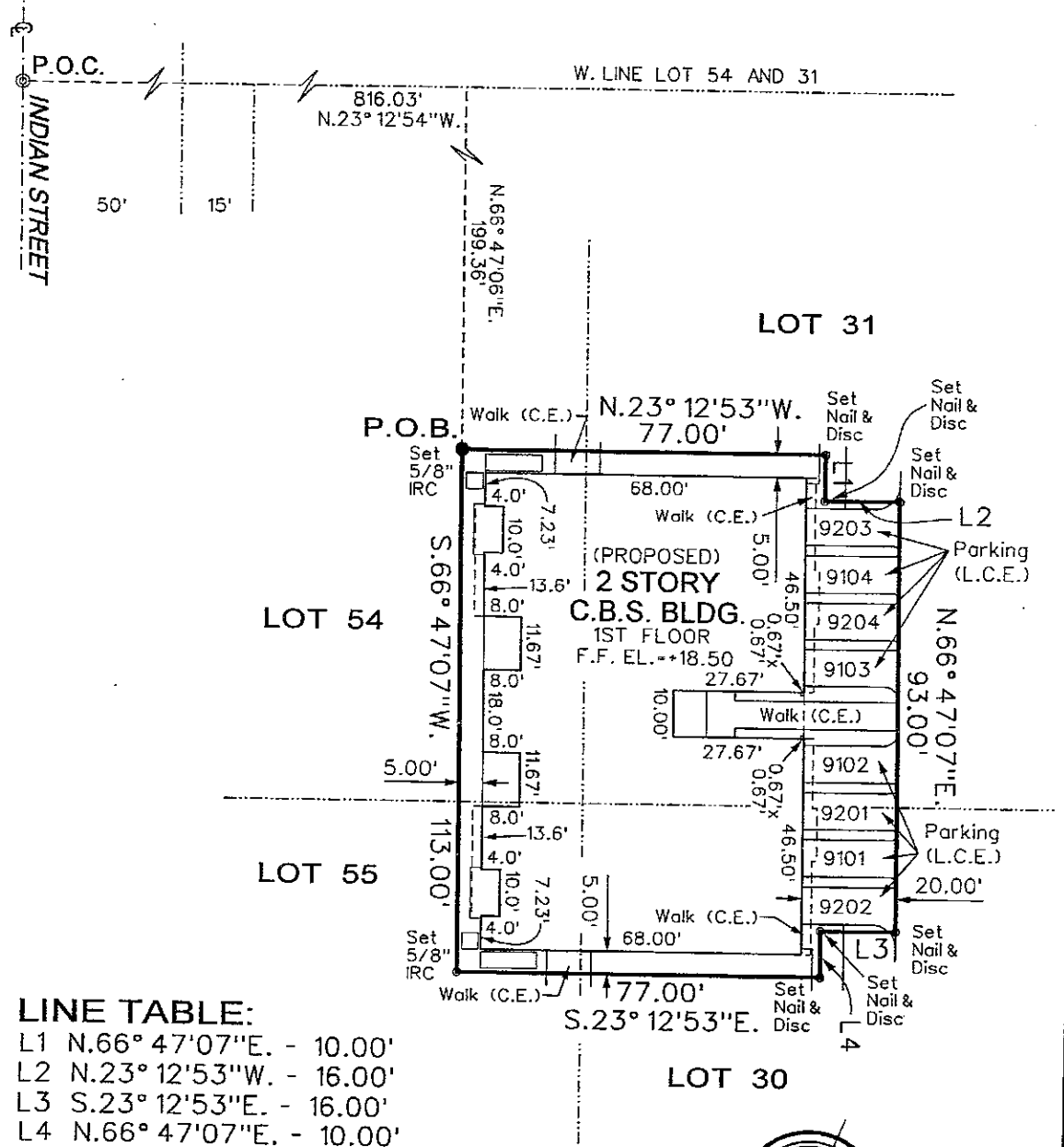
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

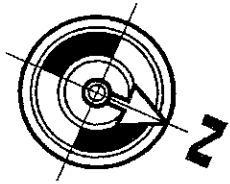
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 9

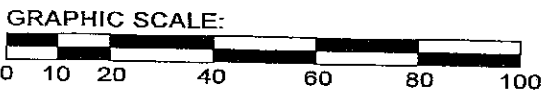


LINE TABLE:

L1	N.66° 47'07"E.	- 10.00'
L2	N.23° 12'53"W.	- 16.00'
L3	S.23° 12'53"E.	- 16.00'
L4	N.66° 47'07"E.	- 10.00'



PHASE 9 - SITE PLAN (PROPOSED)



SCALE: 1"=30'

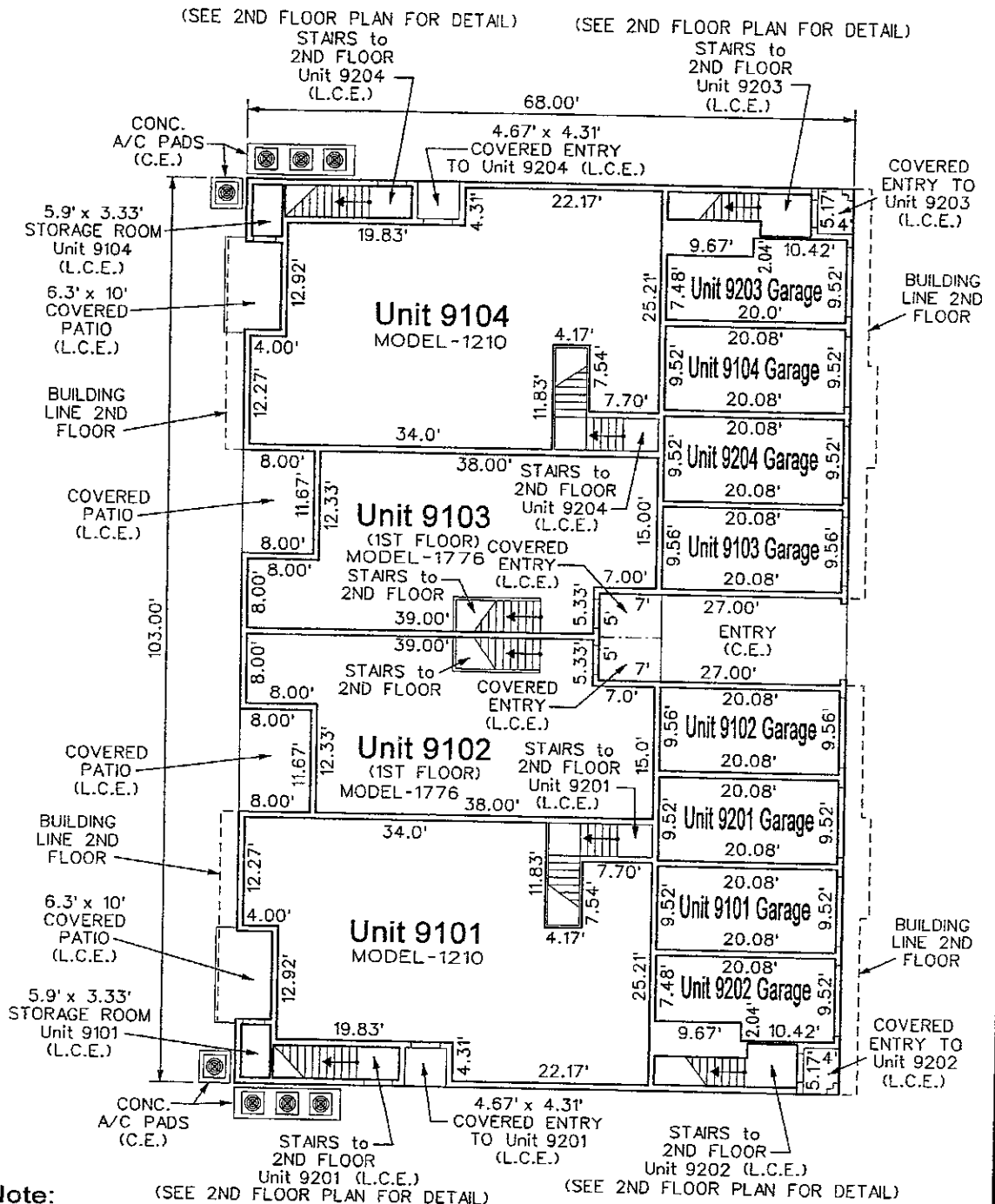
EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD., SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:**
- 1.)
 - 2.)
 - 3.)
 - 4.)

DATE: APRIL 2004 SHEET 3 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 9



Note: (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

PHASE 9 - BUILDING 1ST FLOOR PLAN:

UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

GRAPHIC SCALE:



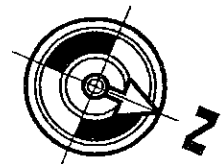
SCALE: 1"=15'

EXHIBIT "B"

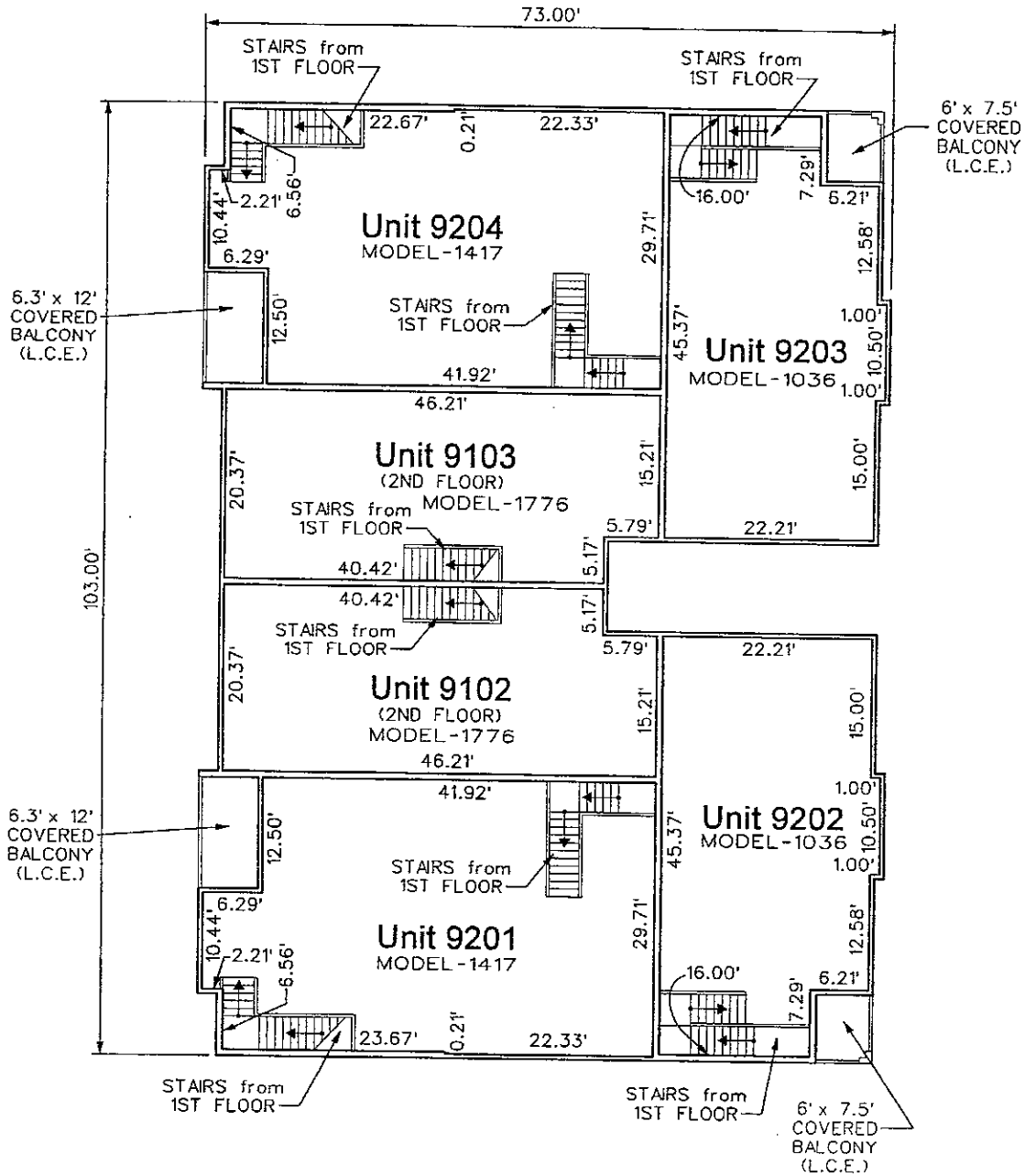
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:
 1.)
 2.)
 3.)
 4.)

DATE: APRIL 2004 SHEET 4 OF 6 SHEETS



LEXINGTON LAKES, A CONDOMINIUM PHASE 9



**PHASE 9 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



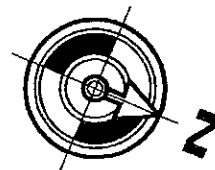
SCALE: 1"=15'

EXHIBIT "B"

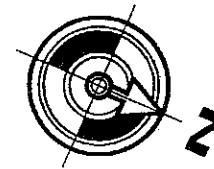
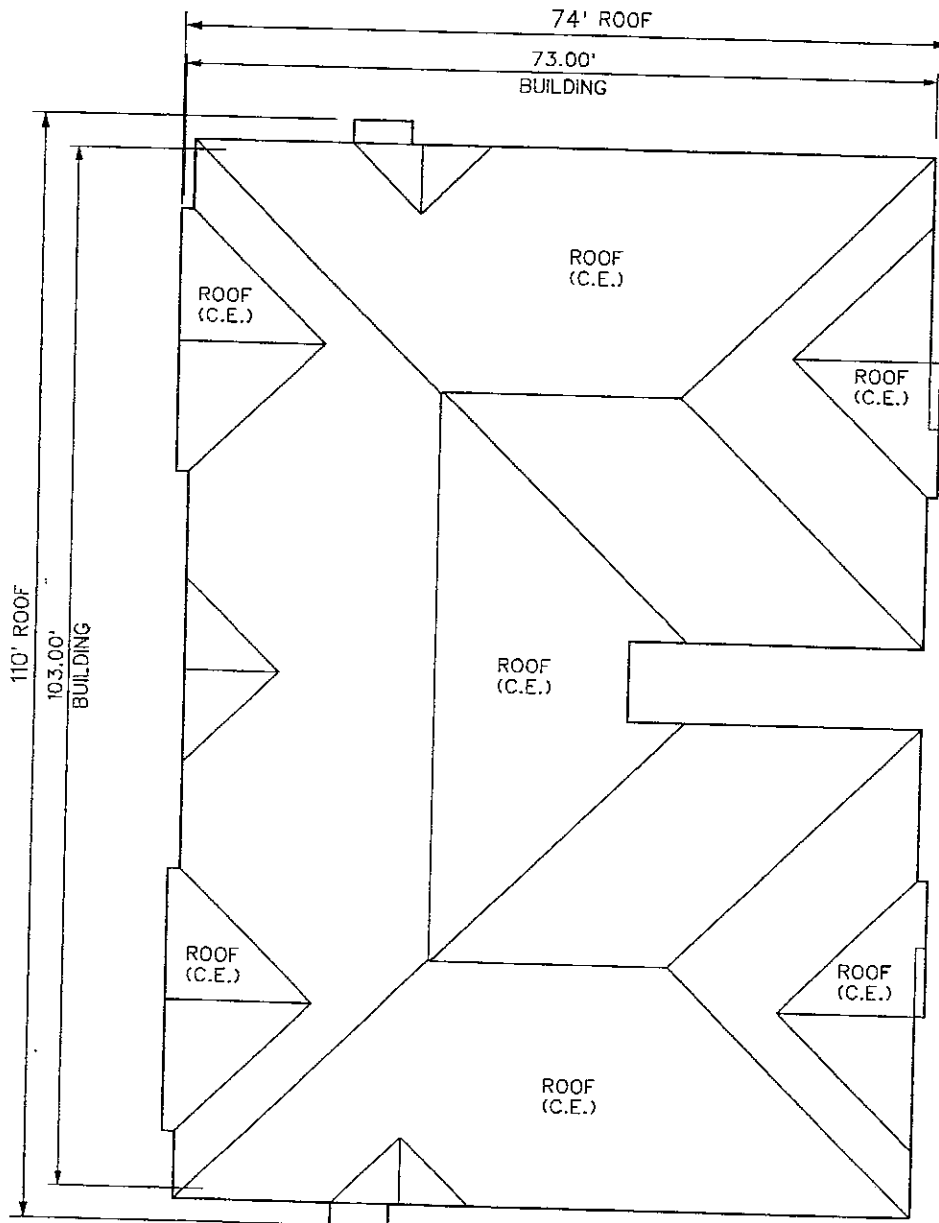
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

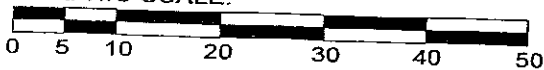


LEXINGTON LAKES, A CONDOMINIUM PHASE 9



**PHASE 9 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

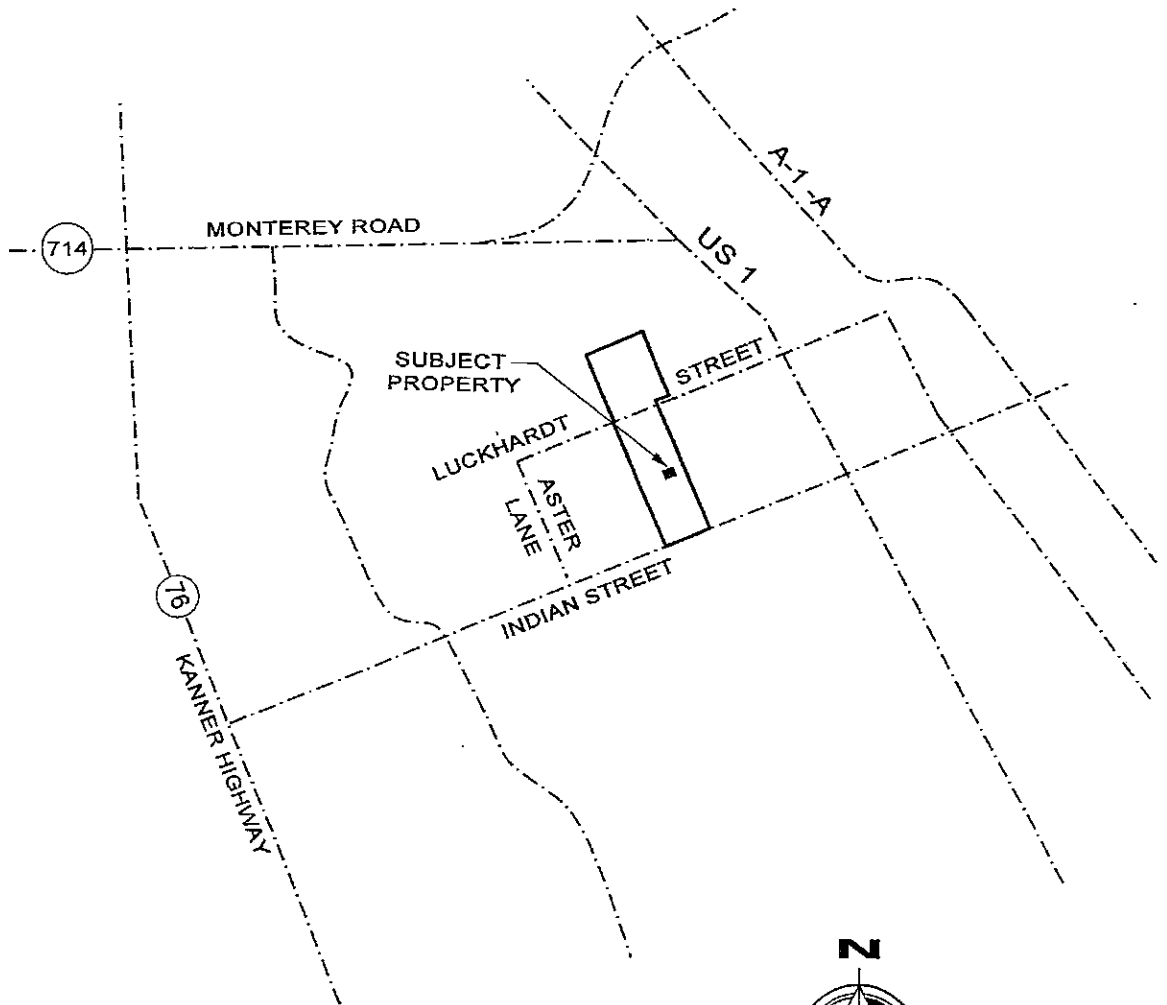
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

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DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 10



LOCATION MAP:
NOT TO SCALE

SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
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DATE: APRIL 2004 SHEET 1 OF 6 SHEETS