

LEXINGTON LAKES, A CONDOMINIUM OVERALL CONDOMINIUM LEGAL AND SITE PLAN LEGAL DESCRIPTION

LEGAL DESCRIPTION:

A portion of the West one-half of Lot 13, Lot 14, the west one-half of Lot 15 and Lots 30, 31, 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

Lot 14 and the West one-half of Lot 15 and Lots 30, 31, 54 and 55, SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida.

Together with:

The West one-half of Lot 13, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida.

The East Half (E 1/2), measuring approximately one hundred forty (140) feet in width and seven hundred eighty-four (784) feet in length of Farm Tract Thirteen (13) in "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," of lots two (2), three (3) and four (4) of the miles, or Hanson Grant, as partitioned by commissioners, approved and confirmed December 17, 1901 by the U.S. Circuit Court, Fifth Judicial Circuit, Southern District of Florida, according to the revised Plats thereof, Filed and recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin (formerly Palm Beach) County, Florida, and being in Township thirty-eight (38) South, range forty-one (41) East.

And together with:

The adjacent Right-of-Way of Luckhardt Street (a fifty foot Right-of-Way); bounded on the East by the Northerly extension of the East line of said Lot 30 and on the West by the Southerly extension West line of said Lot 13.

Less therefrom:

The Southerly 15 feet (adjacent to Indian Street) for Right-of-Way purposes.

Containing 33.122 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A

ABBREVIATIONS:

A=	- ARC LENGTH			'
AZC	- AIR CONDITIONER	F.F.	→ FINISHED FLOOR	PG PAGE
C.R.	- COUNTY RECORDS	F.H.	- FIRE HYDRANT	PROP PROPOSED
BLDG.	- BUILDING	GAR.	- GARAGE	PAVE PAVEMENT
C.E.	- COMMON ELEMENT.	FND.	- FOUND	P.C.P PERMANENT CONTROL POINT
C.B.	- CATCH BASIN	(.P.	- IRON PIPE	P.R.M PERMANENT REFERENCE MONUMENT
C.B.S.	- CONCRETE BLOCK & STUCCO	I.P.C.	 IRON PIPE & CAP 	P.O.B POINT OF BEGINNING
CH	- CHORD			P.O.C POINT OF COMMENCEMENT
C.L.F.	- CHAIN, LINK FENCE	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T POINT OF TERMINATION
CONC.	- CONCRETE	М.Н.	- MANHOLE	R= - RADIUS
D=	~ DELTA (CENTRAL) ANGLE	N.T.S.	- NOT TO SCALE	R/W - RIGHT OF WAY
D.E.	- DRAINAGE EASEMENT	N&D	- NAIL & DISK	SEC SECTION
DRAIN.	- DRAINAGE	NAT	- NAIL & TAB	TYP TYPICAL
EASE.	- EASEMENT	0.R.B.	→ DFF1CIAL RECORDS BOOK	U.E UTILITY EASEMENT
EL.	- ELEVATION	P.B.	- PLAT BOOK	W.M WATER METER
NOTE	· C.			W.V WATER VALVE

1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929.
2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).

3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.

LEGEND:

FLOW ARROW

EDGE OF WATER C/L or (CENTERLINE (\$) B/L or B BASELINE ELEVATION, ELEVATION, **(D)** ELEVATION, AS-BUILT CATCH BASIN ELEVATION, PROPOSED

(O)

MANHOLE, SANITARY SEWER BENCHMARK: BENCHMARK "WILL-IND": A "P.K." NAIL MANHOLE, STORM DRAINAGE AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

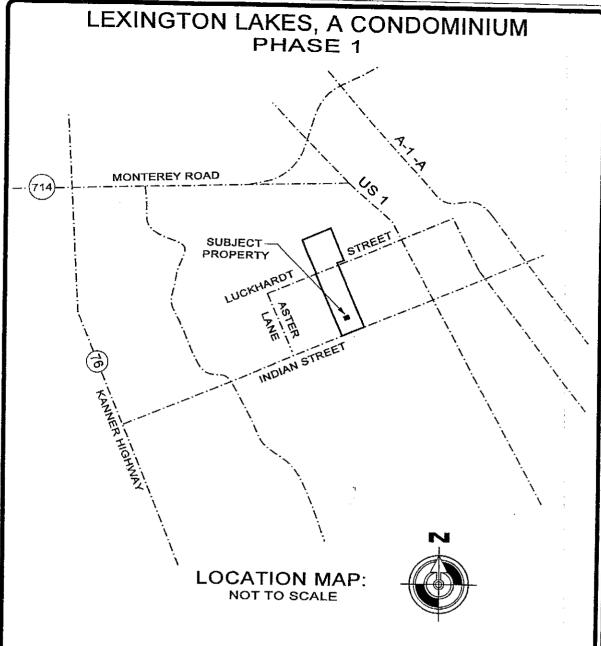
EXHIBIT "A"

2.) 3.0

HAGER, PALBICKE & ASSOCIATES. INC. PROFESSIONAL LAND SURVEYORS

3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237

4.) DATE: APRIL 2004 SHEET | OF 4 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC. DATE: APRIL 2004 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, STATE OF FLORIDA NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS
N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lots 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 375.34 feet; thence N.66°47'06"E., a distance of 198.76 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 93.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence \$.66°47'07"W., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS A= A/C C-R. - FINISHED FLOOR - FIRE HYDRANT - GARAGE - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE PG. - PAGE PROP. - PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT R- POINT OF TERMINATION R- RADIUS R/W - RIGHT OF WAY SEC. - SECTION F.H. GAR. BUILDING - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCED C.E. FND. C.B.S. CH C.L.F. I.P.C. I.R.C. L.C.E. CHORD CHAIN LINK FENCE CHAIN LINK FENCE CONCRETE DELTA (CENTRAL) ANGLE DRAINAGE EASEMENT - LIMITED COMMONS - MANHOLE - MOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK M.H. N.T.S. N&D CONC. D.E. DRAINAGE N&T - SEC. 12. - TYPICAL - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE EASE. D.R.B. NOTES: ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER C/L or @ CENTERLINE <u>(S)</u> BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL B/L or B BASELINE ELEVATION ELEVATION MANHOLE, SANITARY SEWER AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF **(** MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; Ш ELEVATION, PROPOSED CATCH BASIN FLOW ARROW 100 ELEVATION= +16_33 (N.G.V.D.) FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 1 - LEGAL DESCRIPTION

EXHIBIT "B"

FAX: (561) 395-2237

HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS

PHONE: (561) 395-3600

3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

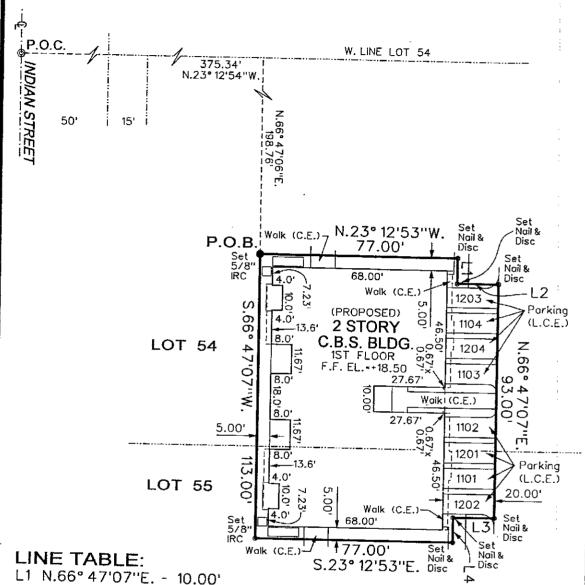
REVISIONS:

DATE: APRIL 2004 | SHEET 2 OF 6 SHEETS

1.)

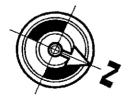
3.)

4.)



L2 N.23° 12'53"W. - 16.00'

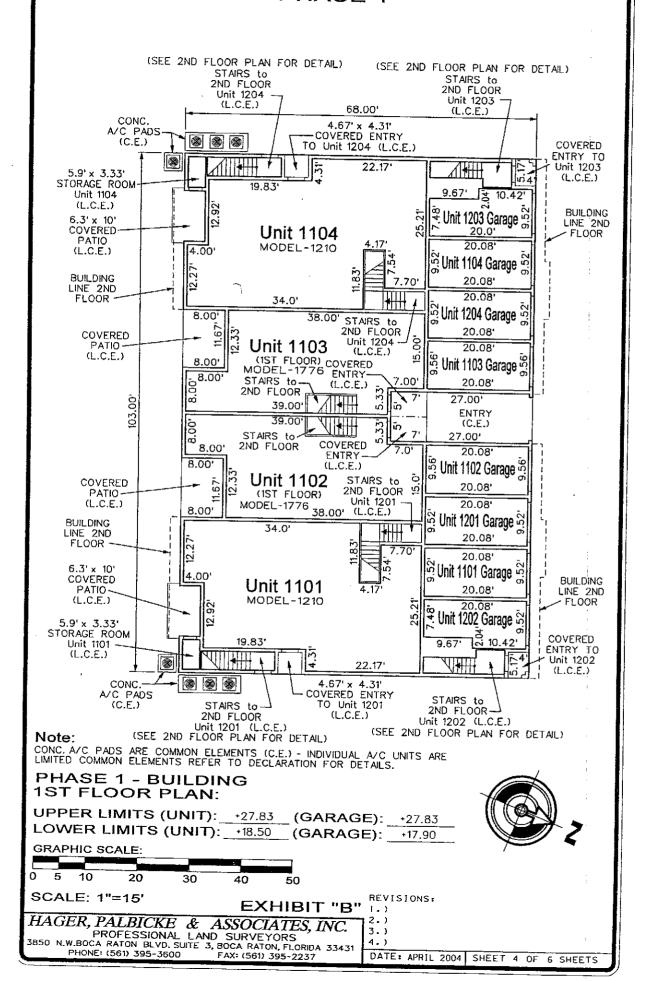
L3 S.23° 12'53"E. - 16.00' L4 N.66° 47'07"E. - 10.00'

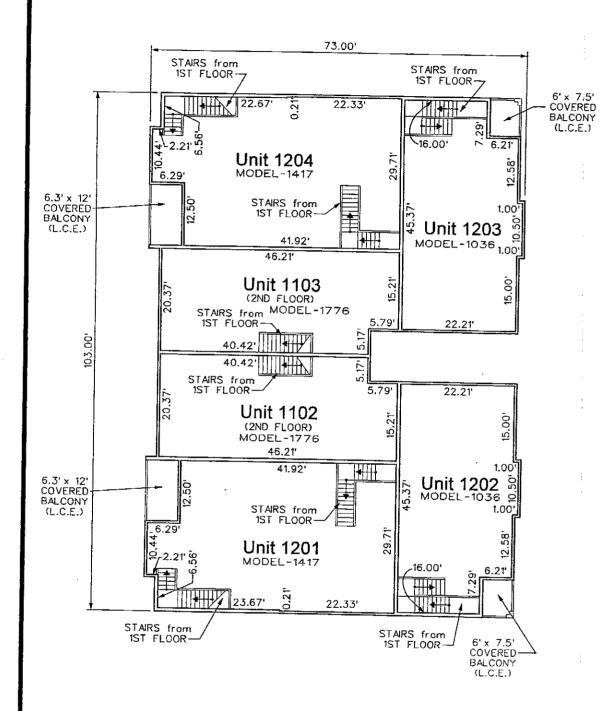


PHASE 1 - SITE PLAN (PROPOSED)



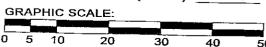
DATE: APRIL 2004 SHEET 3 OF 6 SHEETS





PHASE 1 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): _ +38.75 LOWER LIMITS (UNIT): _+29.42



SCALE: 1"=15'

PHONE: (561) 395-3600

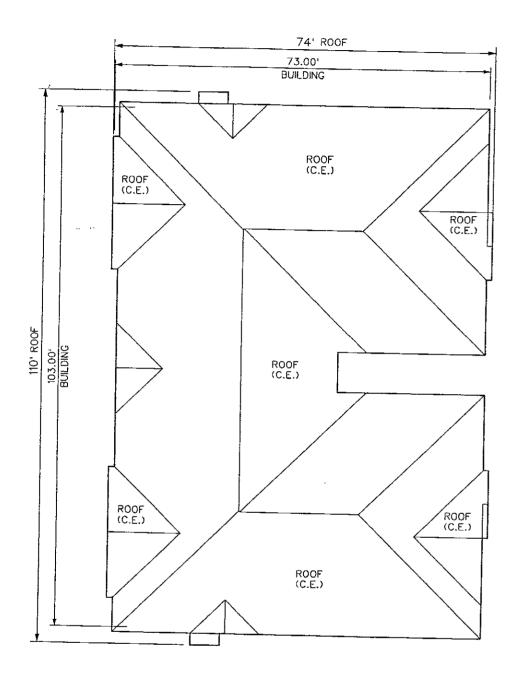
EXHIBIT "B"

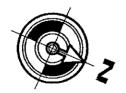
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

FAX: (561) 395-2237

3.) 4.)

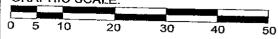
DATE: APRIL 2004 SHEET 5 OF 6 SHEETS





PHASE 1 - BUILDING ROOF PLAN:

GRAPHIC SCALE:



SCALE: 1"=15'

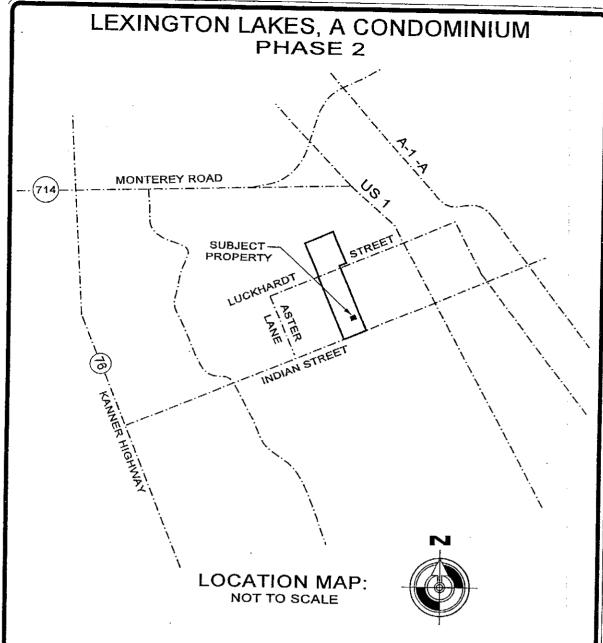
EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (551) 395-2237

REVISIONS:

3.) 4.)

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

materials.	tion these
	HAGER, PALBICKE & ASSOCIATES, INC.
BY:THOMAS R. PALBICKE, VICE PRESIDENT, REGIST STATE OF FLORIDA	ERED LAND SURVEYOR *5061,
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR	
EXHIB	IT "B" 1.)
HAGER, PALBICKE & ASSOCIATES PROFESSIONAL LAND SURVEYORS 1850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORI PHONE: (561) 395-3600 FAX: (561) 395-223	DA 33431 4.)
PHONE: (561) 395-3600 FAX: (561) 395-223	DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lot 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 340.38 feet; thence N.66°47'06"E., a distance of 323.25 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 113.00 feet to the POINT of BEGINNING.

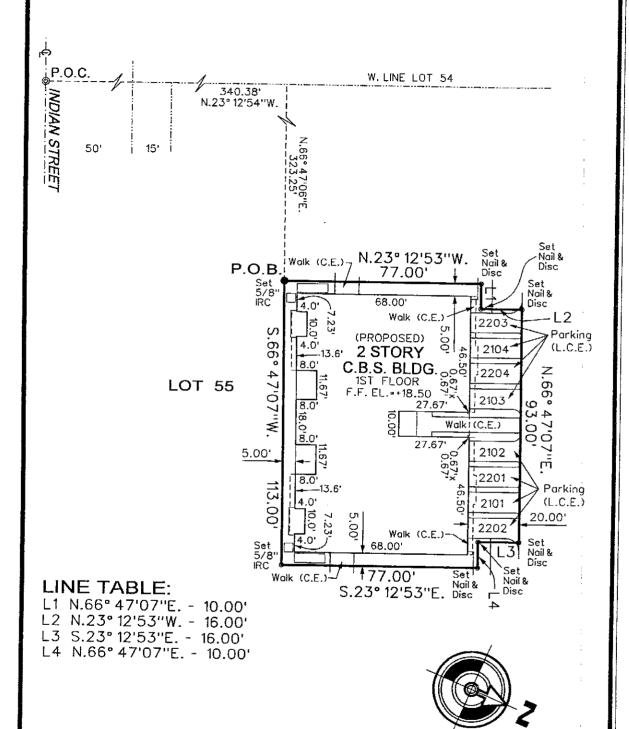
Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS A/C - FINISHED FLOOR - FIRE HYDRANT - GARAGE - FOUND - PAGE - PROPOSED - PAVEMENT C.R. BLDG. C.E. PROP. PAVE. P.C.P. F.H. GAR. PROP. - PRUFUGGE PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION - PADJUS - BUILDING FND. I.P.C. - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK COMMON ELEMENT. CATCH BASIN CONCRETE BLOCK & STUCCO I.R.C. CHORD CHAIN LINK FENCE M.H. N.T.S. NAD NAT CHAIN LINE FENCE CONCRETE DELTA (CENTRAL) ANGLE DRAINAGE EASEMENT DRAINAGE EASEMENT CONC. RIGHT DF WAY SECTION TYPICAL UTILITY EASEMENT D.F. DRAIN. EASE. O.R.B. - ELEVATION - WATER METER - WATER VALVE W. V. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929, 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER BENCHMARK: BENCHMARK "WILL-IND": A "P.K." NAIL C/L or @ CENTERLINE **(S)** MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION ELEVATION, AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF **(**0) MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION, PROPOSED CATCH BASIN ELEVATION= +16.33 (N.G.V.D.) **€⊙**₽ FLOW ARROW FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG

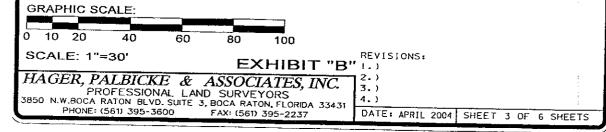
PHASE 2 - LEGAL DESCRIPTION -

EXHÌBIT "B"	REVISIONS:
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431	4.)
PHONE: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

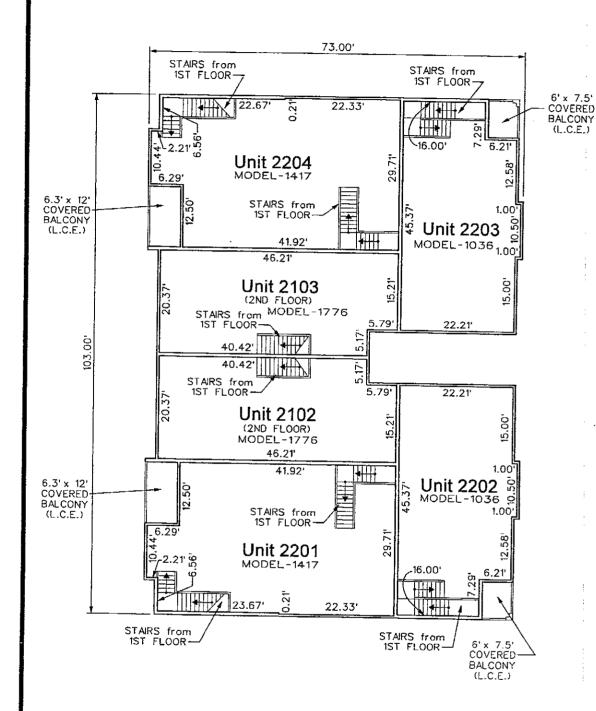
THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).



PHASE 2 - SITE PLAN (PROPOSED)



LEXINGTON LAKES, A CONDOMINIUM PHASE 2 (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) STAIRS to STAIRS to 2ND FLOOR 2ND FLOOR Unit 2204 Unit 2203 (L.C.E.) 68.001 (L.C.E.) CONC 4.67' x 4.31' COVERED ENTRY A/C PADS (C.E.) (8) TO Unit 2204 (L.C.E.) COVERED ENTRY TO (8) 22.17' Unit 2203 5.9' x 3.33' STORAGE ROOM Unit 2104 (L.C.E.) 19.83 9.67 (L.C.E.) Unit 2203 Garage BUILDING 6.3' x 10' LINE 2ND <u>∾</u> COVERED Unit 2104 20.01 PATIO 4.17' MODEL-1210 20 NR 4.00 (L.C.E.) 🔁 Unit 2104 Garage 12.27 BUILDING 20.08 LINE 2ND FLOOR -20.08 34.0" ਼੍ਰੇ Unit 2204 Garage 💆 8.00' 38.001 STAIRS to 2ND FLOOR 11,67 20.08 COVERED Unit 2204 -PATIO-Unit 2103 20.08 (L.C.E.) (1ST FLOOR) COVERED MODEL-1776 ENTRY-Unit 2103 Garage 8.00' 8.00 STAIRS to-20.081 (L.C.E.) 2ND FLOOR 27.00 00 വ∏വ 39.00 5 **ENTRY** 39.00 (C.E.) ما STAIRS to-27.00 ωH 2ND FLOOR COVERED 8.00' 20.08 ENTRY 8.00 දූ Unit 2102 Garage දි (L.C.E.) Unit 2102 COVERED STAIRS to 20.081 2ND FLOOR ₽ PATIO -(1ST FLOOR) MODEL-1776 38.00' (L.C.E.) (L.C.E.) Unit 2201 20.08 8.00' 꽃 Unit 2201 Garage 즉 BUILDING 34.0 LINE 2ND FLOOR -20.081 12.27 7.70 20.08 6.3' x 10' COVERED Ţ. ිදු Unit 2101 Garage දි 4.00' BUILDING Unit 2101 PATIO-20.08 LINE 2ND (L.C.E.) MODEL-1210 FLOOR 20.08 Unit 2202 Garage S 5.9' x 3.33' STORAGE ROOM Unit 2101 ---70.42' COVERED 19.831 ENTRY TO Unit 2202 (L.C.E.) 22.17 (L.C.E.) 4.67' x 4.31' CONC COVERED ENTRY A/C PADS (C.E.) STAIRS to STAIRS to TO Unit 2201 2ND FLOOR-2ND FLOOR Unit 2201 (L.C.E.) (L.C.E.) Unit 2202 (L.C.E.) (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) Note: CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS. PHASE 2 - BUILDING 1ST FLOOR PLAN: UPPER LIMITS (UNIT): __+27.83 __(GARAGE): __+27.83 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90 GRAPHIC SCALE: 10 30 50 SCALE: 1"=15' REVISIONS: EXHIBIT "B" 1.) HAGER, PALBICKE & ASSOCIATES, INC. 2.) PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 3.) PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEET 4 OF 6 SHEETS



PHASE 2 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +38.75 LOWER LIMITS (UNIT): +29.42



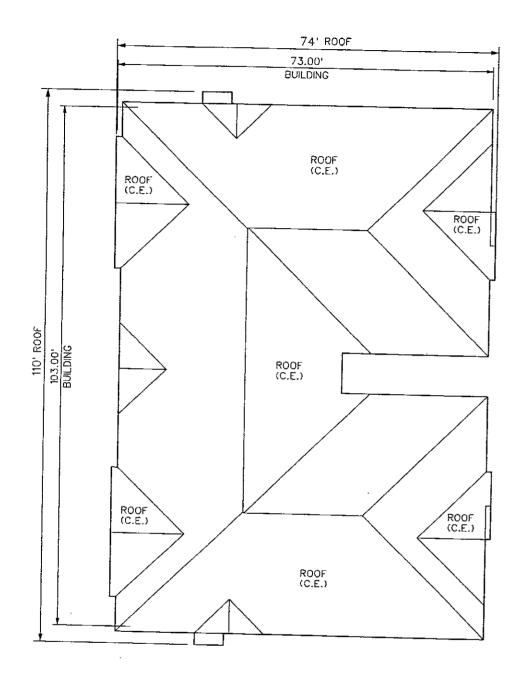
SCALE: 1"=15'

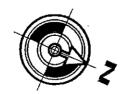
EXHIBIT "B"

3.)

HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237

4.) DATE: APRIL 2004 | SHEET 5 OF 6 SHEETS





PHASE 2 - BUILDING **ROOF PLAN:**

GRAPHIC SCALE:

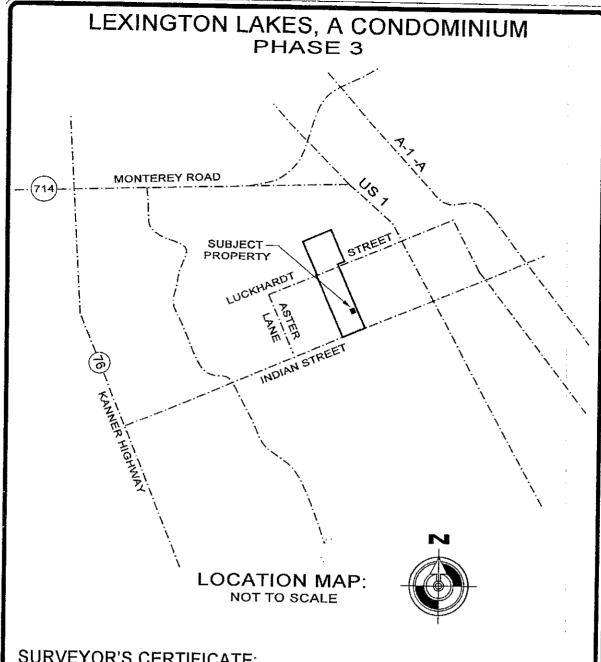


SCALE: 1"=15'

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the iŧ se

with provisions of the aforesaid Declaration of Condominium relates to matters of survey, is an accurate representation dimensions of the improvements and further that the ident dimensions of the units, common elements and limited commaterials.	n describing the co n of the proposed t ification proposed to	ocation and proposed
	HAGER, PALBIC	KE & ASSOCIATES, INC.
BY: THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAN STATE OF FLORIDA	D SURVEYOR *5061	DATE: APRIL 2004 I,
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED		
LAND SURVEYOR EXHIBIT "B"	REVISIONS:	
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431	2.) 3.) 4.)	
PHONE: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL 2004	SHEET OF 6 SHEET:

LEGAL DESCRIPTION:

A portion of Lot 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the East Line of Lots 55 and 30; thence N.23°12'47"W., along said East Line, a distance of 423.68 feet; thence S.66°47'13"W., a distance of 32.24 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.66°47'07"W., a distance of 77.00 feet; thence N.23°12'53"W., a distance of 10.00 feet; thence S.66°47'07"W., a distance of 16.00 feet; thence N.23°12'53"W., a distance of 93.00 feet; thence N.66°47'07"E., a distance of 16.00 feet; thence N.23°12'53"W., a distance of 10.00 feet; thence N.66°47'07"E., a distance of 77.00 feet; thence S.23°12'53"E., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

PHASE 3 - LEGAL DESCRIPTION

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

PHONE: (561) 395-3600

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS PG. - PAGE PROP. - PROPOSED PAVE. - PROPOSED P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.G.S. - POINT OF BEGINNING P.G.C. - POINT OF COMMENCEMENT P.G.T. - POINT OF TERMINATION - PARTIES - PARTIES - FINISKED FLOOR F.H. GAR. FND. - FIRE HYDRANT - GARAGE - FOUND - COUNTY RECURDS - BUILDING - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO BL DG. C.E. C.B. C.B.S. - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE T.P.C. I.R.C. L.C.E. M.H. N.T.S. - CHORD - CHAIN LINK FENCE C.L.F. - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENY CONC. D= D.E. - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK, - PLAT BOOK - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE NAD DRAIN-TYP. EASE. 0.R.B. P.B. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER C/L or @ CENTERLINE BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL-(3) MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION ELEVATION, AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF **(b)** MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; CATCH BASIN ELEVATION, PROPOSED ELEVATION= +16.33 (N.G.V.D.) **€**⊙₽ FLOW ARROW FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

EXHIBIT "B"

FAX: (561) 395-2237

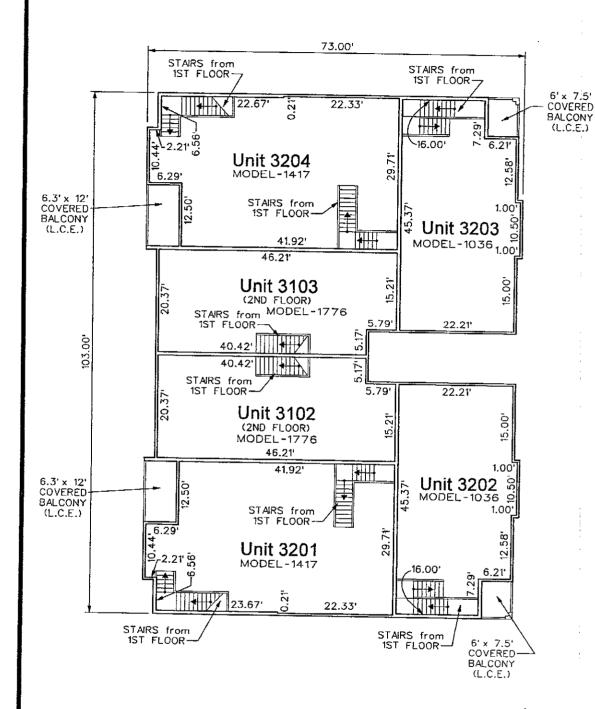
REVISIONS:

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

2.)

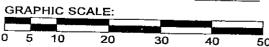
4.)

LEXINGTON LAKES, A CONDOMINIUM PHASE 3 P.O.C._ INDIAN STREET 50 쟔 S.66° 47'13"W. LOT 55 32.24 Ç Set Nail & Walk (C.E.) 7 S.66° 47'07"W. P.O.B Disc 77.00' Disc Set Nail & 5/8' IRC 68.00' Disc Walk (C.E.) ′.23' 10.0 3203 Ιō Parking (PROPOSED) 4.0 (L.C.E.) 13104 2 STORY 8.0' C.B.S. BLDG. 3204 F.F. EL. +18.50 27.67 1ST FLOOR Ñ 25 3103 8.0 苡 Walk (C.E.) .0 8.0 ຕັ 27.67 5.00' 3102 8.0 113.00 Parking 4.01 ¹ 3101 (L.C.E.) 0.0 20.001 3202 Walk (C.E.) 4.01 Set 68.001 Nail & †77.00° Walk (C.E.) LINE TABLE: N.66° 47'07"E. Disc Dîsc L1 N.23° 12'53"W. - 10.00' L2 S.66° 47'07"W. - 16.00' L3 N.66° 47'07"E. - 16.00' L4 N.23° 12'53"W. - 10.00" PHASE 3 - SITE PLAN (PROPOSED) GRAPHIC SCALE: 10 20 40 60 80 100 SCALE: 1"=30" EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 4.) PHONE: (561) 395-3600 DATE: APRIL 2004 SHEET 3 OF 6 SHEETS FAX: (561) 395-2237



PHASE 3 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +38.75 LOWER LIMITS (UNIT): +29.42



SCALE: 1"=15"

EXHIBIT "B" 1.1

HAGER, PALBICKE & ASSOCIATES, INC. 3.

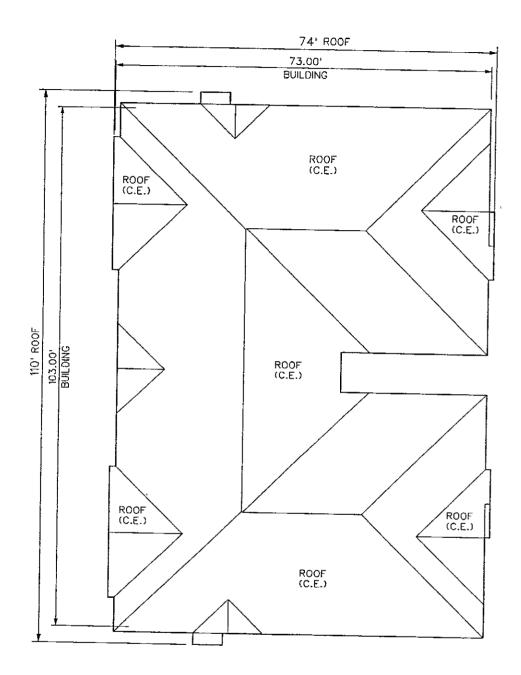
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

1.) 12.) 13.)

4.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

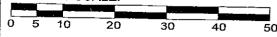






PHASE 3 - BUILDING **ROOF PLAN:**

GRAPHIC SCALE:



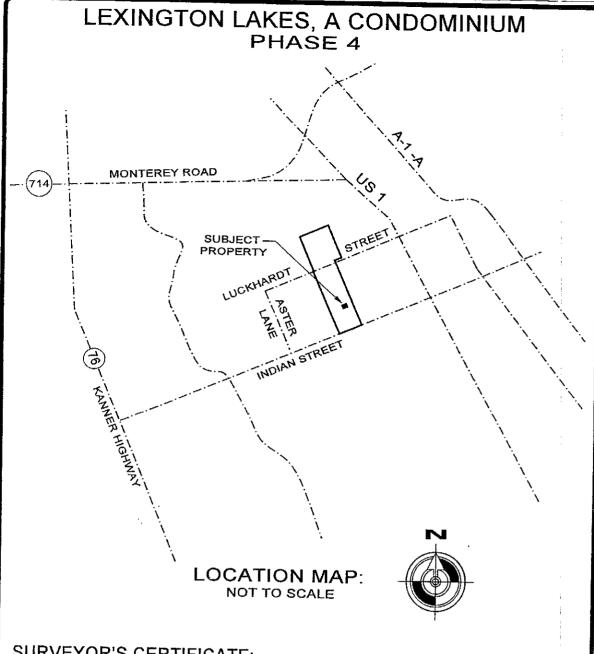
SCALE: 1"=15"

REVISIONS:

EXHIBIT "B"

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

	HAGER, PAŁBICKE & ASSOCIATES, INC.	
BY: THOMAS R. PALBICKE, VICE PRESIDENT, RI STATE OF FLORIDA	EGISTERED LAND SURVEYOR *5061,	
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF		
ATTESTING REGISTERED LAND SURVEYOR	DEMONS	

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET I OF 6 SHEETS

REVISIONS:

LEGAL DESCRIPTION:

A portion of Lot 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the East Line of Lots 55 and 30; thence N.23°12'47"W., along said East Line, a distance of 628.21 feet; thence S.66°47'13"W., a distance of 113.65 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

HAGER, PALBICKE & ASSOCIATES, INC.

3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

LAND SURVEYORS

FAX: (561) 395-2237

PROFESSIONAL

PHONE: (561) 395-3600

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: XEVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENT - ELEVATION PG. - PAGE PROP. - PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.G.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION RE - PADILIE A/C - FINISHED FLOOR - FIRE HYDRANT - FIRE HYDRANT - GARAGE - FOUND - RON PIPE - IRON PIPE & CAP - IRON ROD & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PIAT ROOK C.B.S. I-R-C. L-C-E-CH - RAD BUS N.T.S. N&O N&T R≕ R/W D= D.E. DRAIN. - RIGHT OF - RIGHT OF WAY - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE EASE. - OFFICIAL RECORDS BOOK - PLAT BOOK W. M. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER C/L or & CENTERLINE BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL ➂ MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION ELEVATION. AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF **(D)** MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION, PROPOSED CATCH BASIN ELEVATION- +16.33 (N.G.V.D.) **4⊙**⊪ FLOW ARROW FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 4 - LEGAL DESCRIPTION

EXHIBIT "B"

REVISIONS:

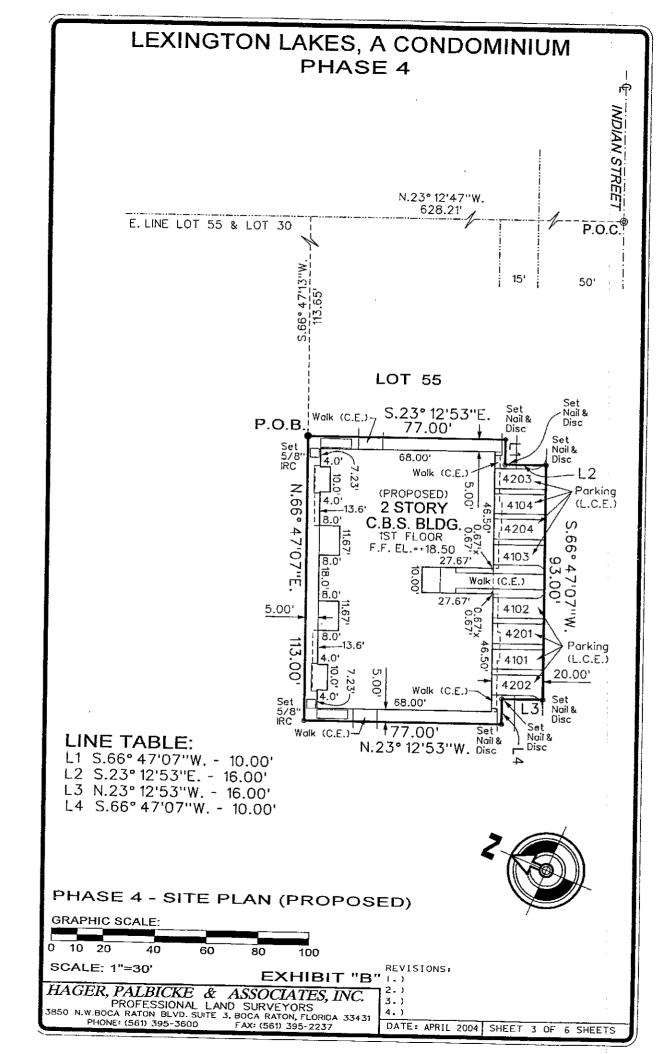
DATE: APRIL 2004

SHEET 2 OF 6 SHEETS

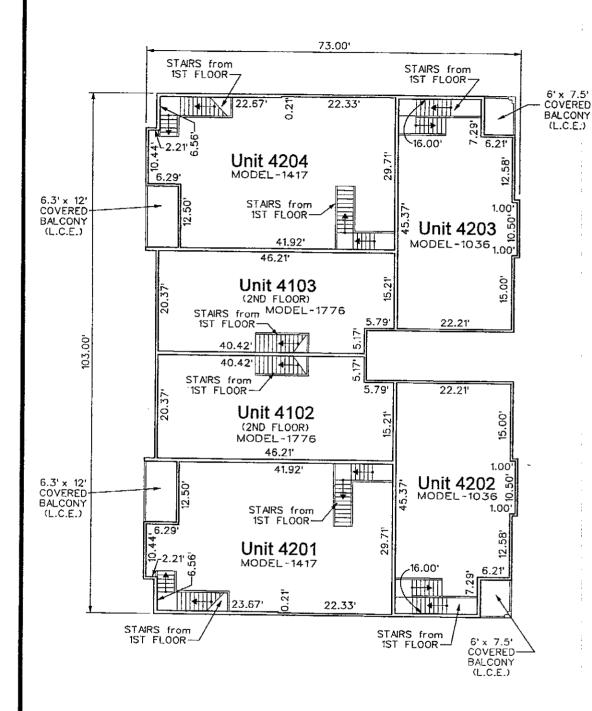
1.)

2.) 3.)

4.)



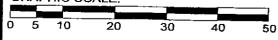
LEXINGTON LAKES, A CONDOMINIUM PHASE 4 (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) STAIRS to STAIRS to 2ND FLOOR 2ND FLOOR Unit 4204 Unit 4203 (L.C.E.) 68.001 (L.C.E.) CONC 4.67' x 4.31' A/C PADS COVERED ENTRY (C.E.) COVERED TO Unit 4204 (L.C.E.) ENTRY TO Unit 4203 22,17 5.9'·x 3.33' (L.C.E.) **154** STORAGE ROOM 19.83 10.42 Unit 4104 (L.C.E.) 92 [∞] Unit 4203 Garage BUILDING 6.3' x 10' 12 LINE 2ND COVERED 20.0 FLOOR Unit 4104 PATIO 4.17 20.08 MODEL-1210 4.00 (L.C.E.) Unit 4104 Garage BUILDING 7.701 20.08 20.08 **FLOOR** 34.0 ેટે Unit 4204 Garage 8.00' 38.00 STAIRS to 67 2ND FLOOR 20.08 COVERED Unit 4204 (L.C.E.) Unit 4103 20.08 PATIO -(1ST FLOOR) COVERED MODEL-1776 ENTRY— ්දු Unit 4103 Garage දි (L.C.E.) ď 8.001 8.00 STAIRS to-20.081 (L.C.E.) 2ND FLOOR 27.00 9 ထ 39.00 5. ENTRY 203 39.00 (C.E.) STAIRS to-27.00 œ κņ COVERED 2ND FLOOR 8.00' 20.081 ENTRY Unit 4102 Garage 😤 8.00 Unit 4102 STAIRS to COVERED 67 20.08 2ND FLOOR ₽ PATIO -(1\$T FLOOR) MODEL-1776 38.00 (L.C.E.) Unit 4201 (L.C.E.) 20.08 8.004 닭 Unit 4201 Garage 첫 BUILDING • 34.0 LINE 2ND FLOOR -20.08 7.70 2 20.081 Unit 4101 Garage 💆 4 6.3' x 10' COVERED 4.00 BUILDING Unit 4101 20.08 PATIO-LINE 2ND - FLOOR MODEL-1210 (L.C.F.) 20.08 He Unit 4202 Garage S 5 5.9' x 3.33' STORAGE ROOM COVERED 10.421 19.831 Unit 4101 ENTRY TO (L.C.E.) Unit 4202 22.17 (L.C.E.) 4.67' x 4.31' COVERED ENTRY CONC 8 A/C PADS STAIRS to TO Unit 4201 STAIRS to 2ND FLOOR-2ND FLOOR (L.C.E.) Unit 4202 (L.C.E.) Unit 4201 (L.C.E.) (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) Note: CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS. PHASE 4 - BUILDING 1ST FLOOR PLAN: UPPER LIMITS (UNIT): _ +27.83 _ (GARAGE): _ +27.83 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90 GRAPHIC SCALE: 10 30 SCALE: 1"=15" EXHIBIT "B" HAGER, PALBICKE & 2.) ASSOCIATES, INC. 3.) PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 4.) PHONE: (561) 395-3600 DATE: APRIL 2004 | SHEET 4 OF 6 SHEETS FAX: (561) 395-2237



PHASE 4 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): __+38.75 LOWER LIMITS (UNIT): +29.42





SCALE: 1"=15'

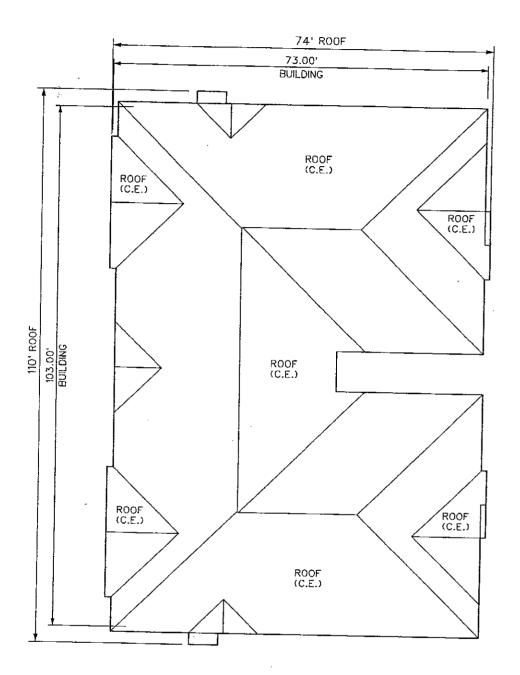
EXHIBIT "B"

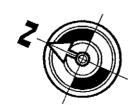
3.)

PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

HAGER, PALBICKE & ASSOCIATES, INC.

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS





PHASE 4 - BUILDING ROOF PLAN:

GRAPHIC SCALE:



SCALE: 1"=15'

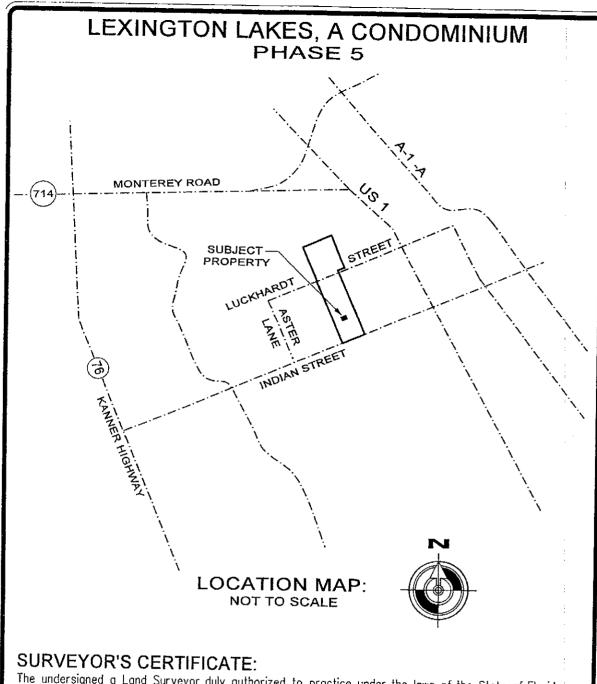
REVISIONS: **EXHIBIT** "B"

2.) 3.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

4.)

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

materials.	
	HAGER, PALBICKE & ASSOCIATES, INC.
BY:	DATE: ADDR DOOA
THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAN	DATE: APRIL 2004
STATE OF FLORIDA	to solverold "soul,"
	•
NOT VALID UNLESS	
EMBOSSED WITH	
RAISED SEAL OF	:
ATTESTING REGISTERED	
LAND SURVEYOR	REVISIONS:
EXHIBIT "B'	# 1.)
HAGER, PALBICKE & ASSOCIATES, INC.	72.)
PROFESSIONAL LAND SHRVEYORS	3.)
0850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431	4.)
PHONE: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lots 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 595.41 feet; thence N.66°47'06"E., a distance of 198.77 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'07"E., a distance of 113.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77:00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

HAGER, PALBICKE

PHONE: (561) 395-3600

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING - COMMON ELEMENT. F.F. F.H. GAR. FINISHED FLOOR PAGE PROPOSED - FIRE HYDRANT - FIRE HYDRANT - GARAGE - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE - NOT TO SCALE - NOT TO SCALE BLDG. C.E. C.B. PAVE. - PAVEMENT FND. [.P. [.P.C. [.R.C. PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.D.B. - POINT OF BEGINNING P.D.C. - POINT OF COMMENCEMENT P.D.T. - POINT OF TERMINATION R= RADIUS R/W - RICHT OF WAY. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE - CONCRETE L.C.E. M.H. N.T.S. N&D - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK D= D-E. - RIGHT OF WAY DRAIN. NAT - TYPICAL - UTILITY EASE - WATER METER - WATER VALVE - ELEVATION - DFFICIAL F - PLAT BOOK EASE. EASEMENT NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER C/L or & CENTERLINE BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL **(S)** MANHOLE, SANITARY SEWER B/L or & BASELINE AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF **(D)** MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; \square ELEVATION, PROPOSED CATCH BASIN FLOW ARROW **@** ELEVATION= +16.33 (N.G.V.D.) FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 5 - LEGAL DESCRIPTION

EXHIBIT "B"

& ASSOCIATES, INC.

FAX: (561) 395-2237

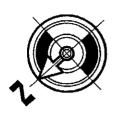
PROFESSIONAL LAND SURVEYORS 8850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 REVISIONS:

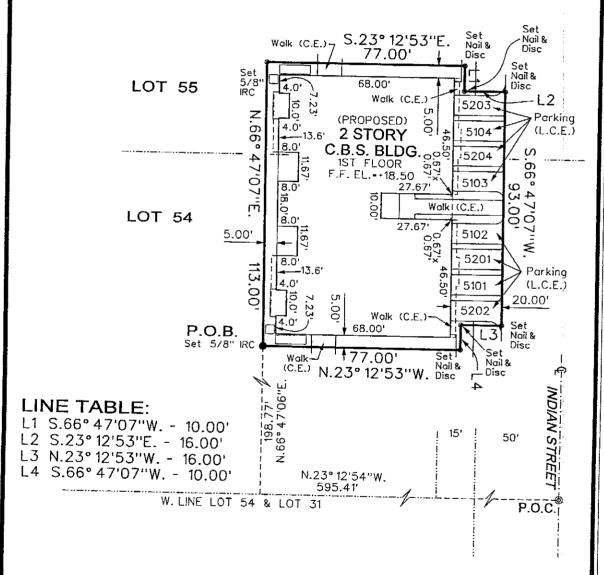
DATE: APRIL 2004 | SHEET 2 OF 6 SHEETS

1.}

2.) 3.)

4.)



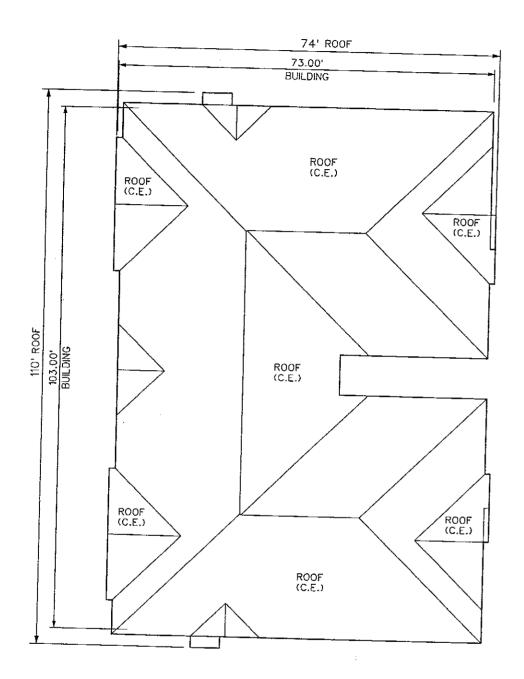


PHASE 5 - SITE PLAN (PROPOSED)



LEXINGTON LAKES, A CONDOMINIUM PHASE 5 (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) STAIRS to STAIRS to 2ND FLOOR 2ND FLOOR Unit 5204 Unit 5203 (L.C.E.) 68.001 (L.C.E.) CONC. 4.67' x 4.31' A/C PADS COVERED ENTRY (C.E.) TO Unit 5204 (L.C.E.) COVERED ENTRY TO Unit 5203 8 22.17 5.9' x 3.33' STORAGE ROOM (L.C.E.) 19.83 Unit 5104 10.42 (L.C.E.) BUILDING 6.3' x 10' COVERED Unit 5203 Garage 🖹 LINE 2ND - FLOOR Unit 5104 PATIO 4.17 20.08 MODEL-1210 4.00 (L.C.E.) ිපි Unit 5104 Garage BUILDING 7.70 20.081 LINE 2ND 20.08 **FLOOR** 34.0' දු Unit 5204 Garage 💆 38.00° STAIRS to 2ND FLOOR 8.00' 67 COVERED 20.08 Unit 5204 (L.C.E.) Unit 5103 PATIO 20.08 (L.C.E.) Unit 5103 Garage (1ST FLOOR) COVERED MODEL-1776 ENTRY-8.001 ENTRY 8.00 STAIRS to 20.081 (L.C.E.) 2ND FLOOR ထ 27.00' 8 39.00 ັດ **ENTRY** 03 39.00 (C.E.) ũ STAIRS to-27.00 ഗ് COVERED 2ND FLOOR 8.00' 20.081 ENTRY 8.00 Unit 5102 Garage ్లో (L.C.E.) Unit 5102 STAIRS to COVERED 67 20.08 2ND FLOOR 띧 PATIO-(IST FLOOR) MODEL-1776 38.00 (L.C.E.) Unit 5201 (L.C.E.) 20.08 8.00 Unit 5201 Garage S BUILDING LINE 2ND FLOOR ~ 20.08 7.70 12. 20.08 .54 ြွှိ Unit 5101 Garage ြွှ 6.3' x 10' COVERED 4.00 BUILDING Unit 5101 PATIO-20.081 LINE 2ND - FLOOR (L.C.E.) MODEL-1210 20.08 Unit 5202 Garage 5.9'x 3.33' STORAGE ROOM COVERED 19.83 10.42 Unit 5101 ENTRY TO (L.C.E.) Unit 5202 22.17 (L.C.E.) 4.67' x 4.31' COVERED ENTRY CONC **®** (3) **®** A/C PADS STAIRS to TO Unit 5201 STAIRS to (C.E.) 2ND FLOOR-2ND FLOOR Unit 5201 (L.C.E.) (L.C.E.) Unit 5202 (L.C.E.) (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS. PHASE 5 - BUILDING 1ST FLOOR PLAN: UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90 GRAPHIC SCALE: 10 20 30 50 SCALE: 1"=15" REVISIONS: EXHIBIT "B" F.) HAGER, PALBICKE & 2.) ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3.) N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 4.) PHONE: (561) 395-3600 FAX: (561) 395~2237 DATE: APRIL 2004 SHEET 4 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 5 73.001 STAIRS from 1ST FLOOR-STAIRS from 1ST FLOOR 6' x 7.5' 22.67 22.33' COVERED BALCONY 4111411 (L.C.E.) 2.21 6 16.00 Unit 5204 MODEL - 1417 6.29 6.3' x 12' COVERED STAIRS from 1.00 1ST FLOOR BALCONY (L.C.E.) Unit 5203 MODEL-1036 1.00 46.21 Unit 5103 7 8 ξ (2ND FLOOR) ₫. STAIRS from MODEL-1776 1ST FLOOR 5.791 22.21 103.001 ഗ 40.42 STAIRS from 1ST FLOOR-5.79 22.21 Unit 5102 8 (2ND FLOOR) MODEL-1776 70 Ω. 46.21 41.92 1.00 6.3' x 12' COVERED Unit 5202 និ MODEL-1036 ₽ BALCONY STAIRS from (L.C.E.) 1.001 1ST FLOOR 6.29 Unit 5201 2.21' දු 2 MODEL-1417 16.00 6.21 + + + | 23.67 22,331 STAIRS from 1ST FLOOR-STAIRS from 6' x 7.5' 1ST FLOOR-COVERED. BALCONY (L.C.E.) PHASE 5 - BUILDING 2ND FLOOR PLAN: UPPER LIMITS (UNIT): __+38.75 LOWER LIMITS (UNIT): +29.42 GRAPHIC SCALE: 10 30 50 SCALE: 1"=15" REVISIONS: EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. 2.) PROFESSIONAL LAND SURVEYORS N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 3.) 4.) PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEET 5 OF 6 SHEETS





PHASE 5 - BUILDING **ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15"

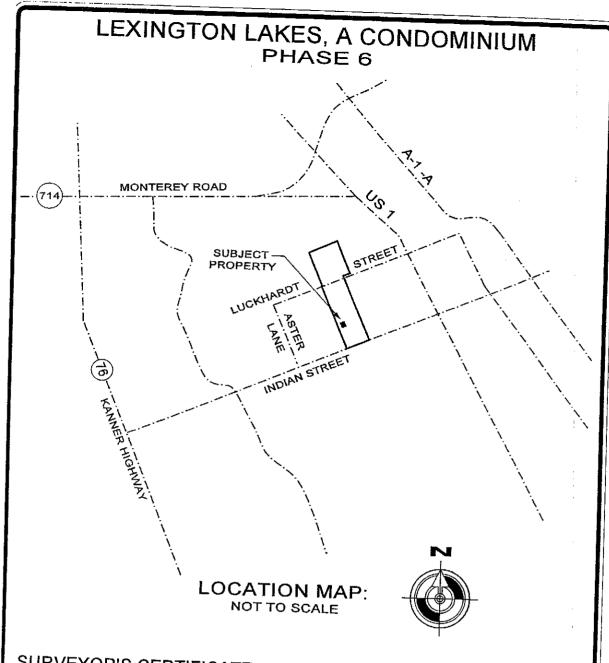
EXHIBIT "B"

REVISIONS:

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

3.)



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

materials.	these determined from these
RY:	HAGER, PALBICKE & ASSOCIATES, INC.
THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAN STATE OF FLORIDA	ND SURVEYOR *5061,
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR	
EXHIBIT "P"	REVISIONS:
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237	2-) 3-) 4-)
200, 333 2237	DATE: APRIL 2004 SHEET OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lot 54, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET. with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 524.15 feet; thence N.66°47'06"E., a distance of 79.56 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'09"W., a distance of 93.00 feet; thence N.66°47'51"E., a distance of 16.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence N.66°47'51"E., a distance of 77.00 feet; thence S.23°12'09"E., a distance of 113.00 feet; thence S.66°47'51"W., a distance of 77.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.66°47'51"W., a distance of 16.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A **ABBREVIATIONS:** - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING A= A/C - FINISHED FLOOR - FIRE HYDRANT - GARAGE - FOUND ~ PAGE - PROPOSED C.R. F.H. PROP. PROP. - PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.C.B. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.G.T. - POINT OF TERMINATION R= RADIUS R/W - RIGHT OF WAY SEC. - SECTION BLDG. GAR. FND. I.P. C.E. C.B. C.B.S. - FOUND - IRON PIPE & CAP - IRON PIPE & CAP - IRON ROD & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE CH C.L.F. CDNC. L.R.C. L-C-E-M-H-N-T-S-CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE D= D.E. N&D DRAIN. EASE. - UTILITY EASEMENT - WATER METER - WATER VALVE - ELEVATION NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL C/L or & CENTERLINE (\$) MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION, ELEVATION, AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF 0 MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION, PROPOSED CATCH BASIN FLOW ARROW 101 ELEVATION= +16.33 (N.G.V.D.) FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG

PHASE 6 - LEGAL DESCRIPTION

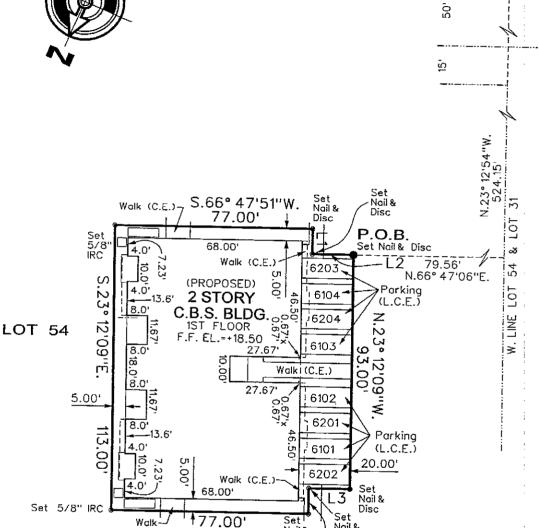
SAL DESCRIPTION	
EXHIBIT "B"	REVISIONS:
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431	2.) 3.) 4.)
PHONE: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

P.O.C.

INDIAN STREET





Nail &

(C.E.) N.66° 47'51"E. Disc

100

FAX: (561) 395-2237

LINE TABLE:

L1 N.23° 12'09"W. - 10.00'

L2 S.66° 47'51"W. - 16.00'

L3 N.66° 47'51"E. - 16.00'

L4 N.23° 12'09"W. - 10.00"

PHASE 6 - SITE PLAN (PROPOSED)

GRAPHIC SCALE: 0 10 20 80

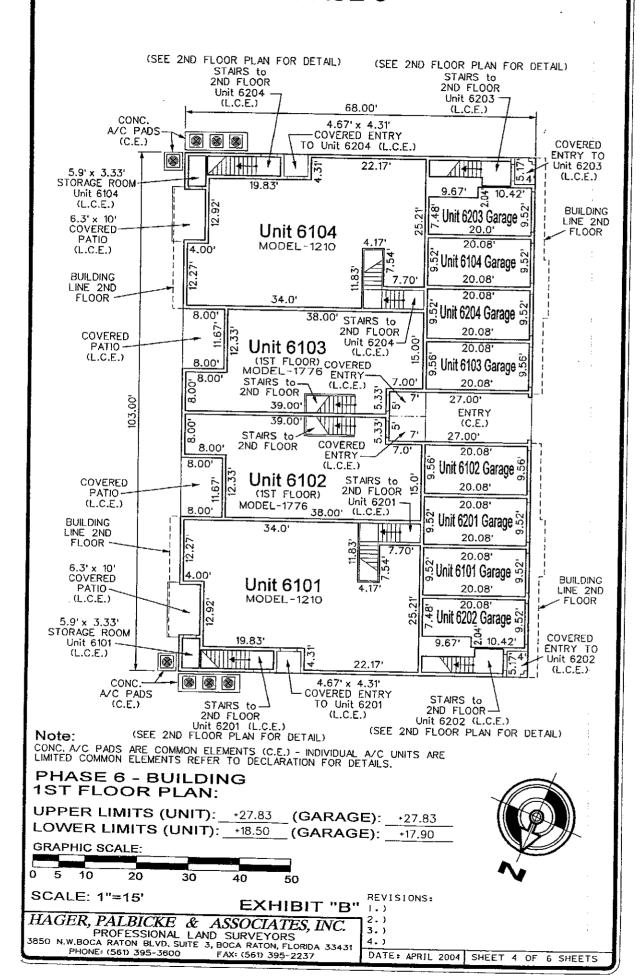
PHONE: (561) 395-3600

SCALE: 1"=30"

EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

DATE: APRIL 2004 SHEET 3 OF 6 SHEETS



LEXINGTON LAKES, A CONDOMINIUM PHASE 6 73.00' STAIRS from STAIRS from 1ST FLOOR-1ST FLOOR-6 x 7.5 22.67 22.33 111111 COVERED BALCONY (L.C.E.) 16.00 Unit 6204 MODEL - 1417 6.291 છં 6.3' x 12' COVERED BALCONY STAIRS from 1ST FLOOR (L.C.E.) Unit 6203 MODEL-1036 1.00 46.21 Unit 6103 8 Σ (2ND FLOOR) ĒĞ STARS from MODEL-1776 5.79 22.21 40.42'||||| S Š 40.42 STAIRS from 1ST FLOOR-5.79 22.21 Unit 6102 (2ND FLOOR) ξ ξ MODEL-1776 46.21 1.00 41.92' 6.3' x 12' COVERED Unit 6202 ន MODEL-1036 0 BALCONY (L.C.E.) STAIRS from 1.001 1ST FLOOR 6.29 Unit 6201 ⊴ 2.21 🕱 MODEL-1417 16.00 6.21 23.67 22.33 STAIRS from STAIRS from 1ST FLOOR 6' x 7.5' COVERED IST FLOOR BALCONY (L.C.E.) PHASE 6 - BUILDING 2ND FLOOR PLAN: UPPER LIMITS (UNIT): _ +38.75 LOWER LIMITS (UNIT): +29.42 GRAPHIC SCALE:



SCALE: 1"=15"

REVISIONS: EXHIBIT "B"

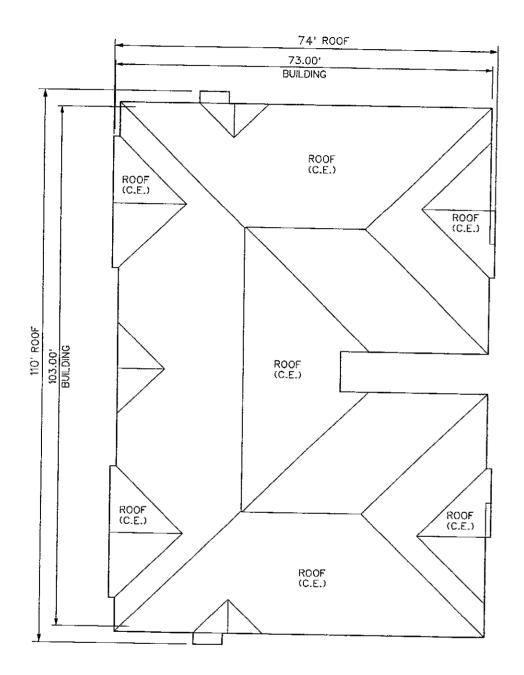
1.) 2.) 3.)

4.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

HAGER, PALBICKE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3. BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237 FAX: (561) 395-2237





PHASE 6 - BUILDING ROOF PLAN:

GRAPHIC SCALE:

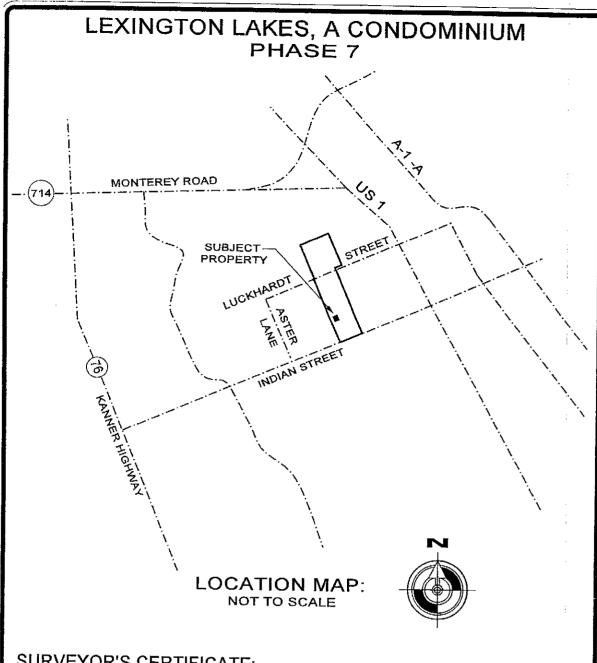


SCALE: 1"=15'

EXHIBIT "B" ...

HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units common elements and limited common elements and limited common elements. е

	materials.
	HAGER, PALBICKE & ASSOCIATES, INC.
	BY: DATE: APRIL 2004 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, STATE OF FLORIDA
	NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR REVISIONS:
_	EXHIBIT "B" (.)
	HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS B50 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEET 1 OF 6 SHEETS
	PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEFT I DE 6 SHEFTS

LEGAL DESCRIPTION:

A portion of Lot 54, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 665.02 feet; thence N.66°47'06"E., a distance of 83.12 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'09"W., a distance of 93.00 feet; thence N.66°47'51"E., a distance of 16.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence N.66°47'51"E., a distance of 77.00 feet; thence S.23°12'09"E., a distance of 113.00 feet; thence S.66°47'51"W., a distance of 77.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.66°47'51"W., a distance of 16.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS A/C C.R. PG. - PAGE PROP. - PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT POINT OF TERMINATION PADITY PADITY F.F. - FINISHED FLOOR - FIRE HYDRANT - GARAGE - COUNTY RECORDS - BUILDING - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO GAR. FND. I.P. I.P.C. I.R.C. C.E. FOUND FOUND IRON PIPE IRON PIPE & CAP IRON ROD & CAP LIMITED COMMON ELEMENT MANHOLE C.B.S. CH C.L.F. CONC. CHORD CHAIN LINK FENCE L.C.E. - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENT - ELEVATION - MANHULE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK N.T.S. N&D R/W D.F. RIGHT OF WAY NAT - SECITO... - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE TYP. U.E. W.M. EASE. - PLAT BOOK NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERCROUND

3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.

5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER

C/L or @ CENTERLINE (3) B/L or B BASELINE ELEVATION ELEVATION MANHOLE, SANITARY SEWER **(D)** MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT ПП ELEVATION, PROPOSED CATCH BASIN FLOW ARROW 101 FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

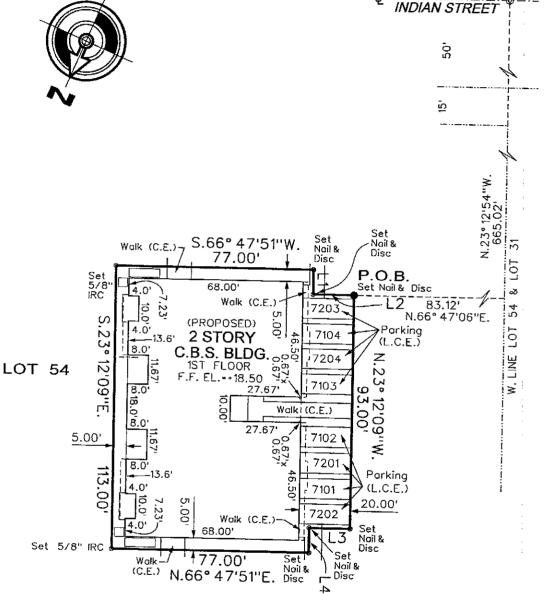
(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 7 - LEGAL DESCRIPTION

HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

P.O.C.





LINE TABLE:

L1 N.23° 12'09"W. - 10.00'

L2 S.66° 47'51"W. - 16.00'

L3 N.66° 47'51"E. - 16.00'

L4 N.23° 12'09"W. - 10.00"

PHASE 7 - SITE PLAN (PROPOSED)

GRAPHIC SCALE: 10 20 60 80 100 SCALE: 1"=30'

EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC.

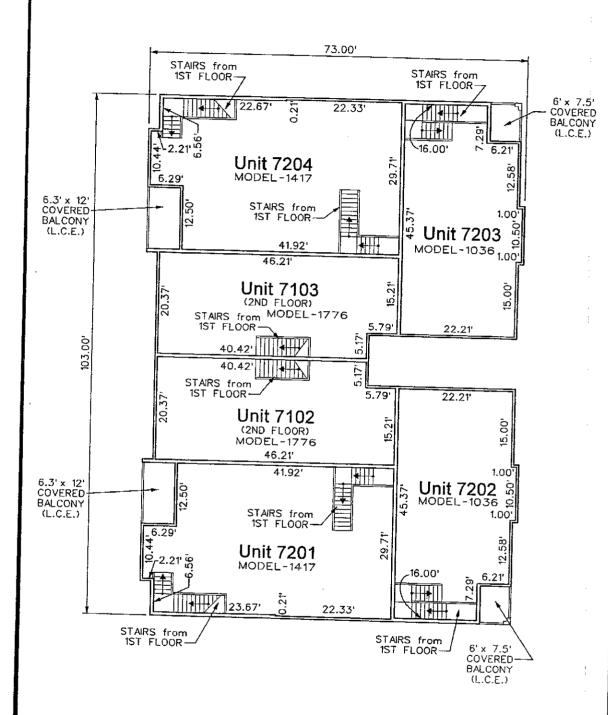
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 3 OF 6 SHEETS

REVISIONS:

4.)

LEXINGTON LAKES, A CONDOMINIUM PHASE 7 (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) STAIRS to 2ND FLOOR Unit 7204 STAIRS to 2ND FLOOR Unit 7203 (L.C.E.) 68.001 (L.C.E.) CONC. 4.67' x 4.31' COVERED ENTRY A/C PADS (C.E.) **8** TO Unit 7204 (L.C.E.) COVERED ENTRY TO 22.17 Unit 7203 5.9' x 3.33' STORAGE ROOM Unit 7104 (L.C.E.) ഗ്4 19.83 <u>9.67'</u> 10.42 (L.C.E.) Unit 7203 Garage 🗟 BUILDING 6.3' x 10' COVERED LINE 2ND Unit 7104 20.01 **PATIO** 4.17 20.08 MODEL-1210 (L.C.E.) 4.00 중 Unit 7104 Garage 호 BUILDING 20.08 LINE 2ND FLOOR -20.08 34.0' 🖺 Unit 7204 Garage 8.00' 38.00 STAIRS to 11.67 2ND FLOOR 20.08 COVERED Unit 7204-(L.C.E.) PATIO-Unit 7103 20.08 (L.C.E.) (1ST FLOOR) COVERED MODEL-1776 FNTRY Unit 7103 Garage 🖔 8.00' ENTRY-8.00 STAIRS to-20.08 (L.C.E.) 5.33 2ND FLOOR ∞ 27.00 8 39.00 'n ENTRY 103, 39.00 1 (C.E.) ī STAIRS to 27.001 œ က် COVERED 2ND FLOOR 8.001 20.08 **ENTRY** 8.00 🖺 Unit 7102 Garage 🖫 (L.C.E.) STAIRS to 9 Unit 7102 COVERED 67 20.081 PATIO-(1ST FLOOR) MODEL-1776 38.00' (L.C.E.) Unit 7201 (L.C.E.) 20.08 8.00' Unit 7201 Garage 3 BUILDING 34.0' LINE 2ND FLOOR -20.081 2 20.081 6.3' x 10' Unit 7101 Garage 🗟 4.00 COVERED BUILDING Unit 7101 PATIO-20.08 LINE 2ND (L.C.E.) MODEL-1210 FLOOR 20.08 Unit 7202 Garage 5 5.9' x 3.33' STORAGE ROOM Unit 7101 — (L.C.E.) COVERED 19.83 10.42 ENTRY TO Unit 7202 22.171 (L.C.E.) CONC. 4.67' x 4.31' COVERED ENTRY TO Unit 7201 A/C PADS (C.E.) STAIRS to STAIRS to-2ND FLOOR 2ND FLOOR (L.C.E.) Unit 7202 (L.C.E.) Unit 7201 (L.C.E.) (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) Note: CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS. PHASE 7 - BUILDING **1ST FLOOR PLAN:** UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83 LOWER LIMITS (UNIT): +18.50 (GARAGE): GRAPHIC SCALE: 10 20 30 40 50 SCALE: 1"=15' REVISIONS: EXHIBIT "B" 1.0 HAGER, PALBICKE & ASSOCIATES, INC. 2.) PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 3.) 4.) PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEET 4 OF 6 SHEETS



PHASE 7 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +38.75 LOWER LIMITS (UNIT): +29.42





SCALE: 1"=15'

EXHIBIT "B"

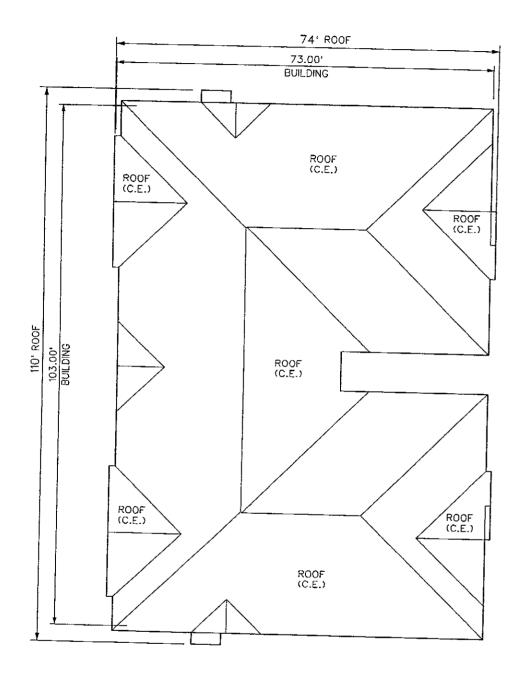
HAGER, PALBICKE & ASSOCIATES, INC.

2.)

PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS







PHASE 7 - BUILDING ROOF PLAN:

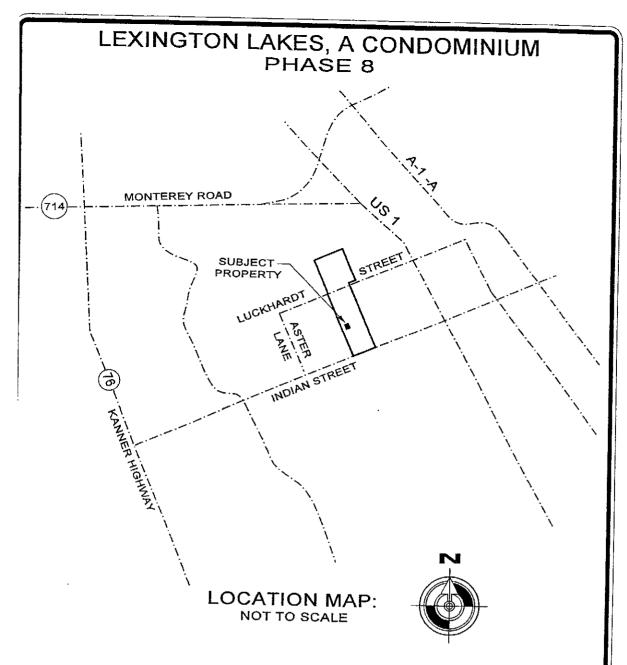
GRAPHIC SCALE: 5 10 SCALE: 1"=15'

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

4.)

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY:

THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,

NOT VALID UNLESS
EMBOSSED WITH
RAISED SEAL OF
ATTESTING REGISTERED
LAND SURVEYOR

EXHIBIT "B"

FAGER, PALBICKE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS

BEST OF FLORIDA

REVISIONS:

(-)

2.)

3.)

PHONE: (561) 395-3600

FAX: (561) 395-2237

BASSOCIATES APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lots 54 and 31, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 788.02 feet; thence N.66°47'06"E., a distance of 80.35 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'09"W., a distance of 93.00 feet; thence N.66°47'51"E., a distance of 16.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.23°12'09"E., a distance of 113.00 feet; thence S.66°47'51"W., a distance of 77.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.66°47'51"W., a distance of 16.00 feet to the POINT of BEGINNING.

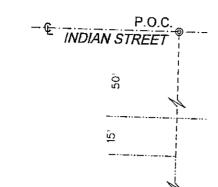
Said lands contain 0.234 acres, more or less.

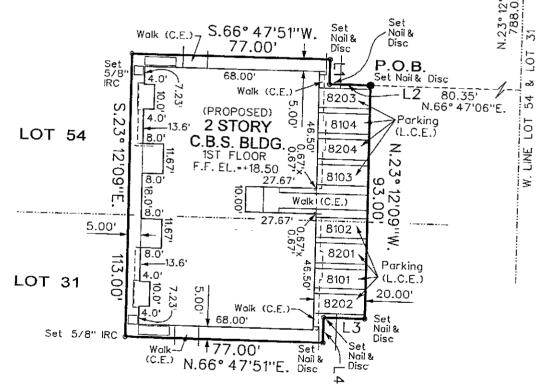
FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING - FINISHED FLOOR - FIRE HYDRANT - GARAGE - PAGE - PROPOSED - PAVEMENT - PERMANENT CONTROL POINT - PERMANENT REFERENCE MONUMENT - POINT OF BEGINNING - POINT OF COMMENCEMENT - POINT OF TERMINATION - RADIUS - PAGE PROP. BLOG. C.E. C.B. GAR. FND. - GARAGE - COMMON ELEMENT. - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - FASE MENT - FUUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE I.P. I.P.C. P.R.M. C.B.S. P.O.B. P.O.C. P.O.T. CH C.L.F. CONC. I.R.C. м. н. RADIUS - NOT TO SCALE - NAIL & DISK - NAIL & TAB - DEFICIAL RECO N. T. S. D.E. DRAIN. EASE. EL. A/W RIGHT OF NAD **SECTION** - TYPICAL - UTILITY EASEMENT - EASEMENT - ELEVATION 0.R.B. P.B. RECORDS BOOK - WATER METER NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 2.) THIS FIRM 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER C/L or @ CENTERLINE BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL (3) MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION, ELEVATION, AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF (D) MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; CATCH BASIN ELEVATION, PROPOSED (Q) ELEVATION= +16.33 (N.G.V.D.) FLOW ARROW FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 8 - LEGAL DESCRIPTION





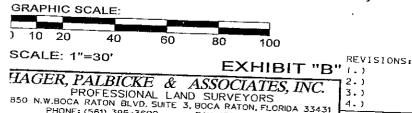




LINE TABLE:

- L1 N.23° 12'09"W. 10.00"
- L2 S.66° 47'51"W. 16.00'
- L3 N.66° 47'51"E. 16.00'
- L4 N.23° 12'09"W. 10.00'

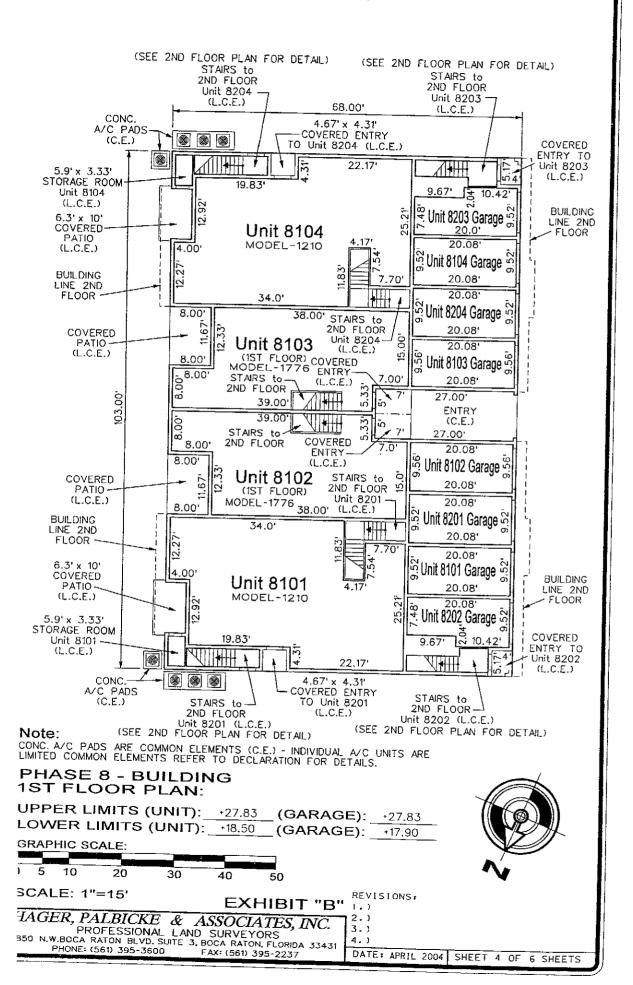
PHASE 8 - SITE PLAN (PROPOSED)

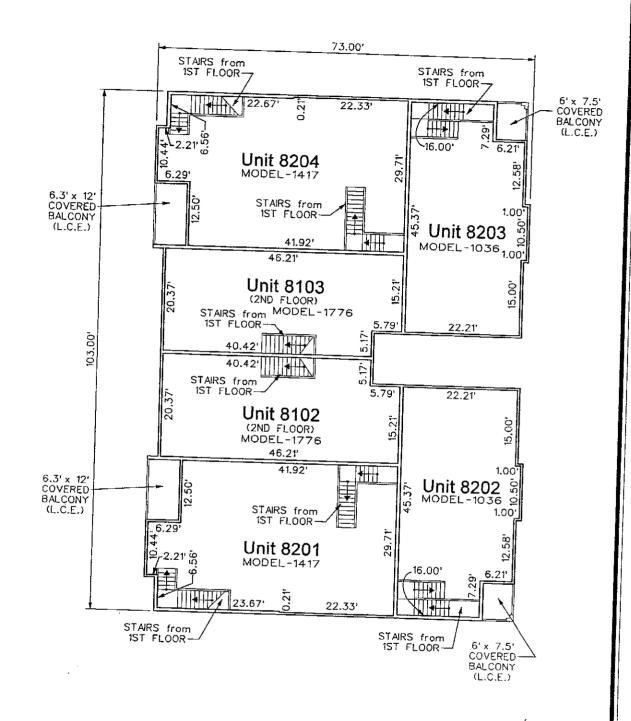


PROFESSIONAL LAND SURVEYORS

850 N.W.BOCA RATON BLVD, SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237 FAX: (561) 395-2237

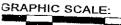
DATE: APRIL 2004 SHEET 3 OF 6 SHEETS

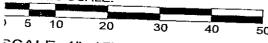




PHASE 8 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT):_ +38.75 LOWER LIMITS (UNIT): +29.42





SCALE: 1"=15"

REVISIONS: EXHIBIT "B"

IAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS

N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

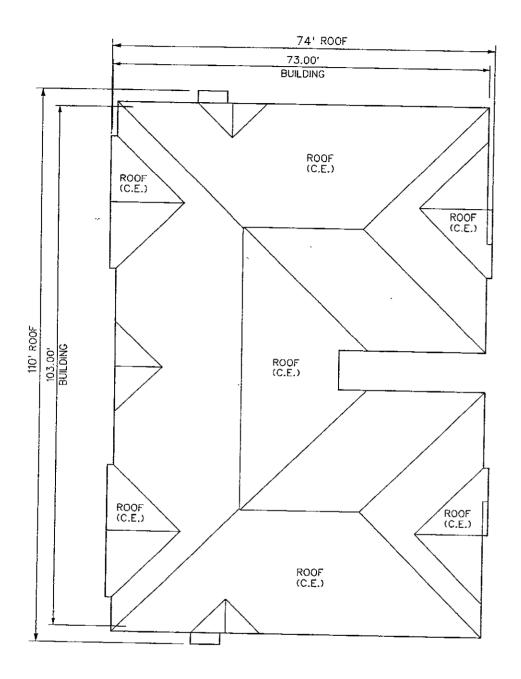
PHONE: (561) 395-3600 FAX: (561) 395-2237

3.)

2-)

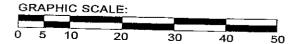
DATE: APRIL 2004 SHEET 5 OF 6 SHEETS







PHASE 8 - BUILDING **ROOF PLAN:**



SCALE: 1"=15'

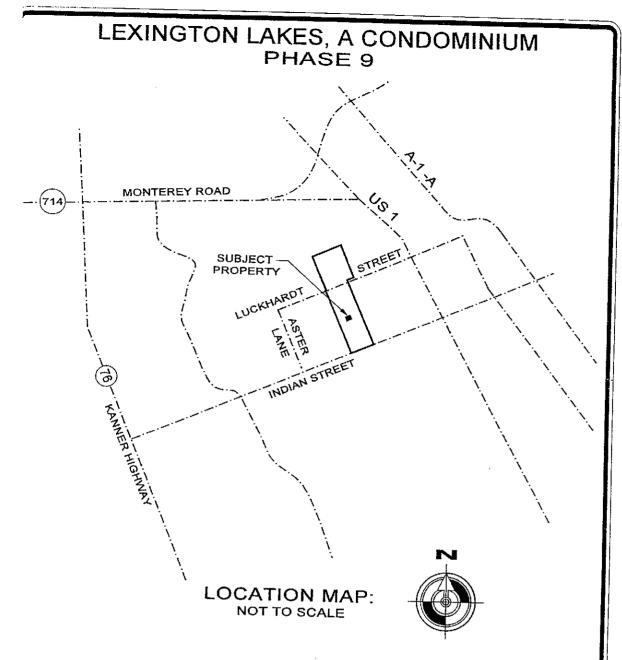
EXHIBIT "B"

REVISIONS: 2.) 3.)

4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

BY:	HAGER, PALBICKE & ASSOCIATES, INC.
THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LA STATE OF FLORIDA	ND SURVEYOR *5061, DATE: APRIL 2004
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR	
EXHIBIT "B	REVISIONS:
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431	2.) 3.) 4.1
FAX: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lots 30, 31, 54 and 55, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 816.03 feet; thence N.66°47'06"E., a distance of 199.36 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 93.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence N.66°47'07"E., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

HAGER, PALBICKE &

PHONE: (561) 395-3600

PROFESSIONAL LAND SURVEYORS

3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING - COMMON ELEMENT. F.F. F.H. GAR. - FINISHED FLOOR - PAGE - PROPOSED - FIRE HYDRANT - GARAGE - FOUND PROP. BLDG. PROP. - PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL PGINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.G.T. - POINT OF TERMINATION R\$ RADIUS RIGHT OF WAY SEC. - SECTION C.E. C.B. C.B.S. FND. - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENT - ELEVENON - FOUND - IRON PIPE - IRON PIPE & CAP - IRON RIDE & CAP - LIMITED COMMON ELEMENT - MANHOLE - MAN 1.R.C. C-L-F. - LIMITED COMMON ELEMEN: - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK D-E. M.H. N.T.S. N&D N&T - RIGHT OF WAY - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE DRAIN. - EASEMENT - ELEVATION EASE. - OFFICIAL : U.F. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929. 1.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). EDGE OF WATER C/L or @ CENTERLINE BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL (\$) B/L or B BASELINE ELEVATION, AS-BUILT ELEVATION, PROPOSED MANHOLE, SANITARY SEWER 0 AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF MANHOLE, STORM DRAINAGE ELEVATION, PROPOSED INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; CATCH BASIN FLOW ARROW ŧΘI FIRE HYDRANT ELEVATION= +16.33 (N.G.V.D.) (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 9 - LEGAL DESCRIPTION

EXHIBIT "B"

ASSOCIATES, INC.

FAX: (561) 395-2237

REVISIONS:

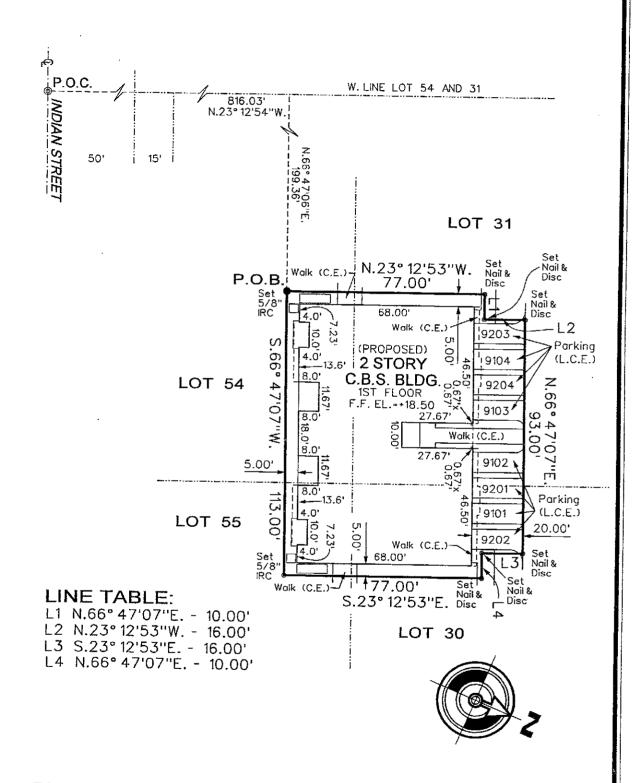
DATE: APRIL 2004

SHEET 2 OF 6 SHEETS

2.)

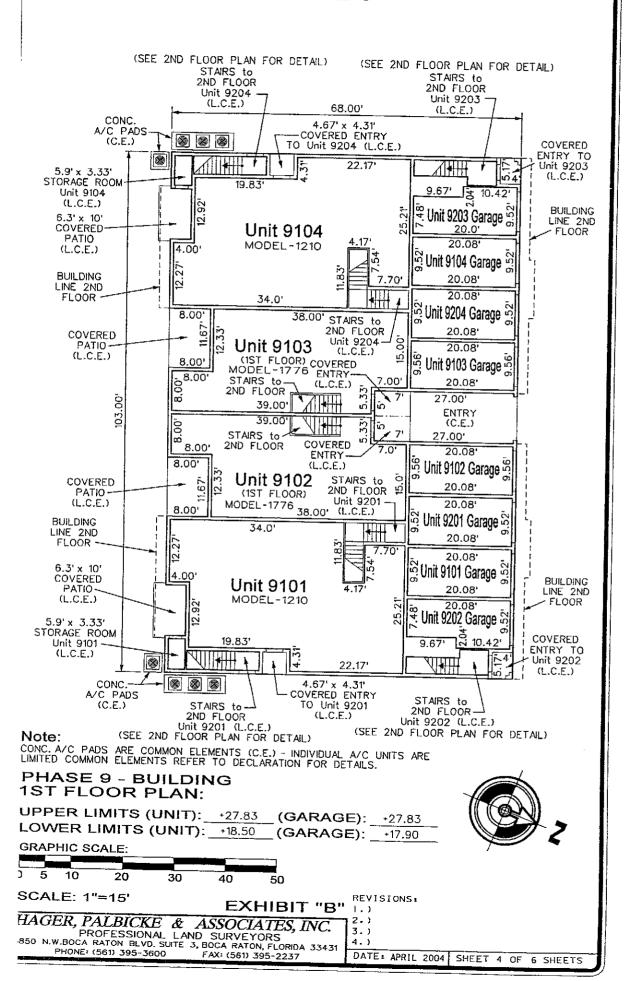
3.)

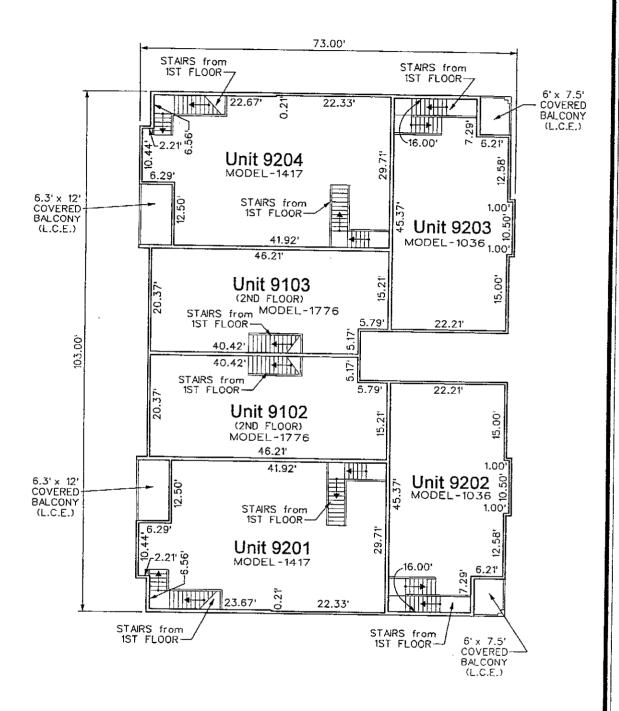
4.)



PHASE 9 - SITE PLAN (PROPOSED)







PHASE 9 - BUILDING 2ND FLOOR PLAN:

SCALE: 1"=15'

UPPER LIMITS (UNIT): +38.75 LOWER LIMITS (UNIT): +29.42



HAGER, PALBICKE & ASSOCIATES, INC.

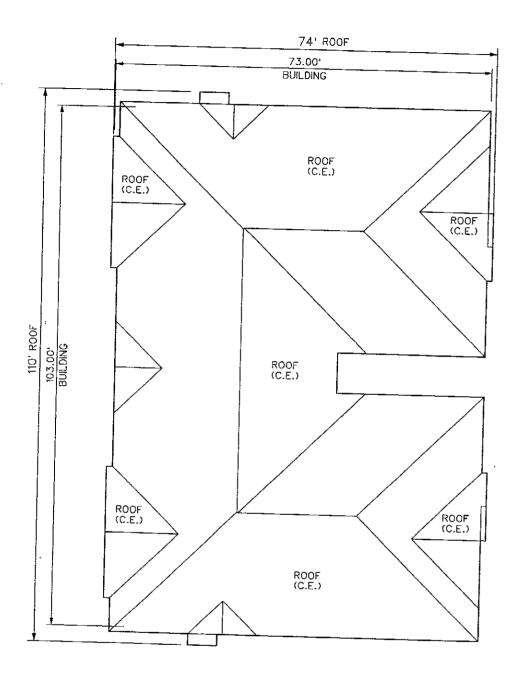
PROFESSIONAL LAND SURVEYORS

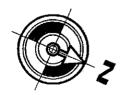
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237



REVISIONS:
1.)
2.)
3.1
4.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS





PHASE 9 - BUILDING ROOF PLAN:

GRAPHIC SCALE:



SCALE: 1"=15'

REVISIONS: EXHIBIT "B" 1.

2.) 3.)

4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

materials.	The second secon	
	HAGER, PALBICKE 8	ASSOCIATES, INC.
BY:	F	MATE: ADDII DOG
THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND STATE OF FLORIDA	D SURVEYOR *5061,	PATE: APRIL 2004
NOT VALID UNLESS		
EMBOSSED WITH		
RAISED SEAL OF		
ATTESTING REGISTERED		
LAND SURVEYOR	REVISIONS:	
EXHIBIT "B"	1.)	
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 350 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (551) 395-3500 FAX: (561) 395-3600	2.) 3.) 4.)	