

SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these

moteriais.				-
	HAGER, PALBICKE	& ASS	CIATE:	S, INC.
3Y:THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAN STATE OF FLORIDA	D SURVEYOR *5061,	_DATE:	APRIL	2004
NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR				
	CC-1/5 - 5			

EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

PHONE: (561) 395-3600 FAX: (561) 395-2237

4.)

DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lot 30, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the East Line of Lots 55 and 30; thence N.23°12'47"W., along said East Line, a distance of 1621.46 feet; thence S.66°47'13"W., a distance of 114.12 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

HAGER, PALBICKE &

PHONE: (561) 395-3600

PROFESSIONAL LAND SURVEYORS
8850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING A= A/C C.R. BLDG. C.E. C.B. FINISHED FLOOR PAGE PROPOSED PG. PROP. F.H. - FIRE HYDRANT - PROPOSED - PAVEMENT - PERMANENT CONTROL POINT - PERMANENT REFERENCE MONUMENT - POINT OF BEGINNING - POINT OF COMMENCEMENT - POINT OF TERMINATION - RADIUS - POINT OF WAR PAVE. P.C.P. P.R.M. - GARAGE - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT P.C.P. -P.R.M. -P.O.B. -FND. COMMON ELEMENT. CATCH BASIN CONCRETE BLOCK & STUCCO CH C.L.F. CONC. I.R.C. P.D.C. CHORD CHAIN LINK FENCE .C.E. - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK M.H. N.T.S. N&D - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE FASEMENT - ORAINAGE - EASEMENT - ELEVATION D= D.E. DRAIN. EASE. EL. RIGHT OF WAY - HIGH OF WAY - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE N&T D.R.B. P.B. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). A.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL C/L or & CENTERLINE (S) MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION, ELEVATION, AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF ❿ MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; $\Box\Box$ CATCH BASIN ELEVATION, PROPOSED ELEVATION= +16.33 (N.G.V.D.) **4⊙**1 FIRE HYDRANT FLOW ARROW (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 20 - LEGAL DESCRIPTION

EXHIBIT "B"

ASSOCIATES, INC.

FAX: (561) 395-2237

REVISIONS:

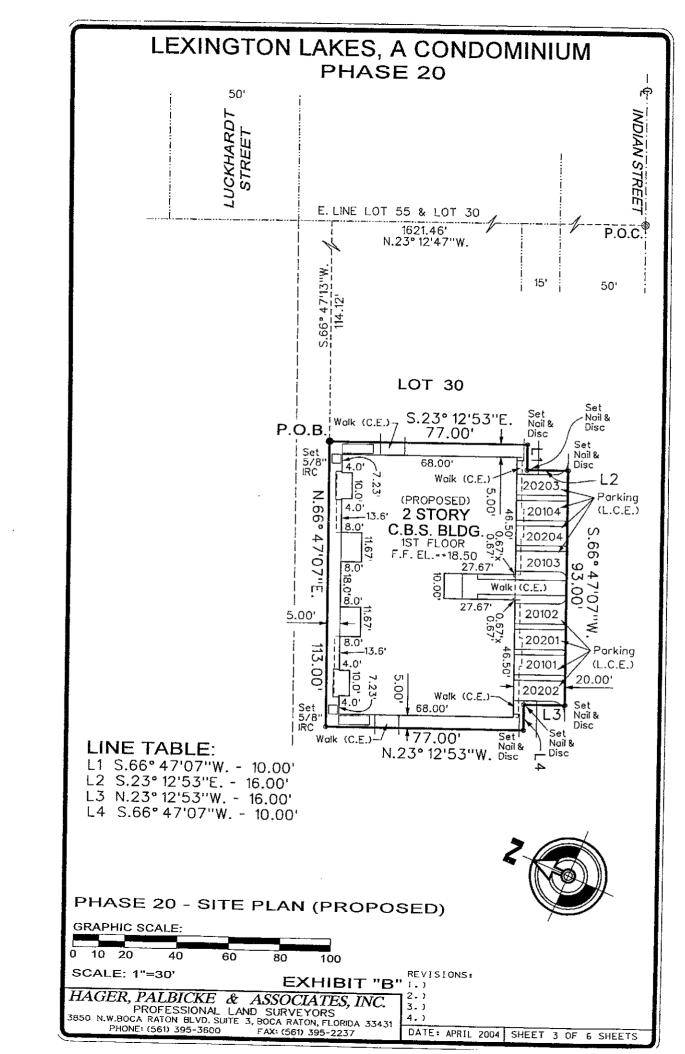
DATE: APRIL 2004

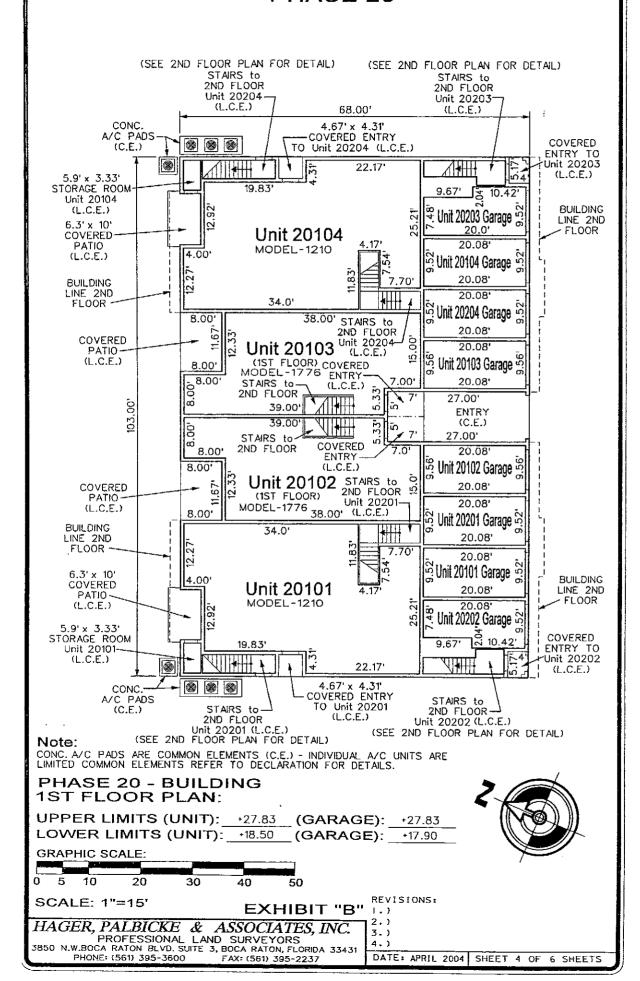
SHEET 2 OF 6 SHEETS

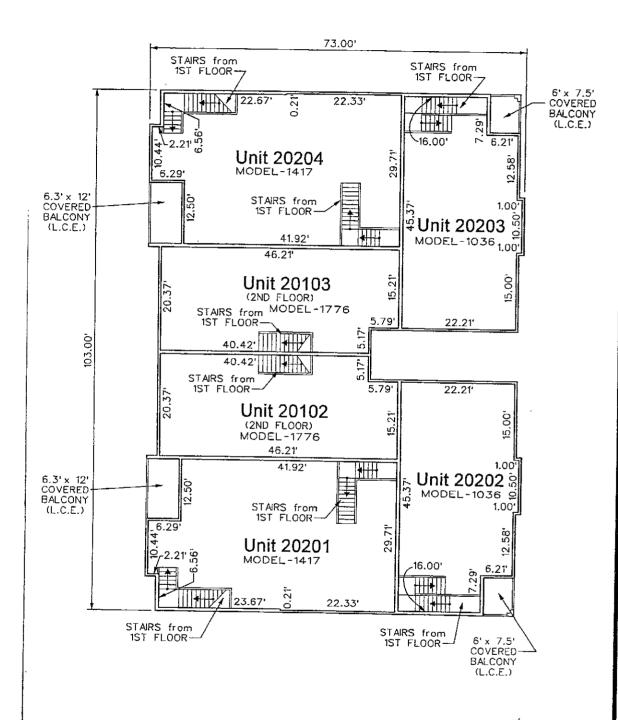
2.)

3.)

4.)







PHASE 20 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +38.75 LOWER LIMITS (UNIT): +29.42



SCALE: 1"=15"

PHONE: (561) 395-3600



HAGER, PALBICKE &

ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

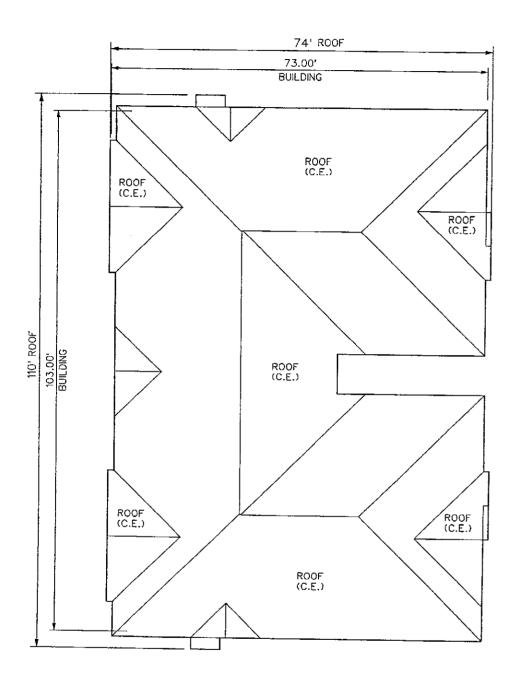
REVISIONS: EXHIBIT "B"

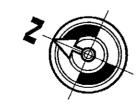
FAX: (561) 395-2237

3.) 4.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

1.) 2.)





PHASE 20 - BUILDING ROOF PLAN:

GRAPHIC SCALE: 5 10 20 50

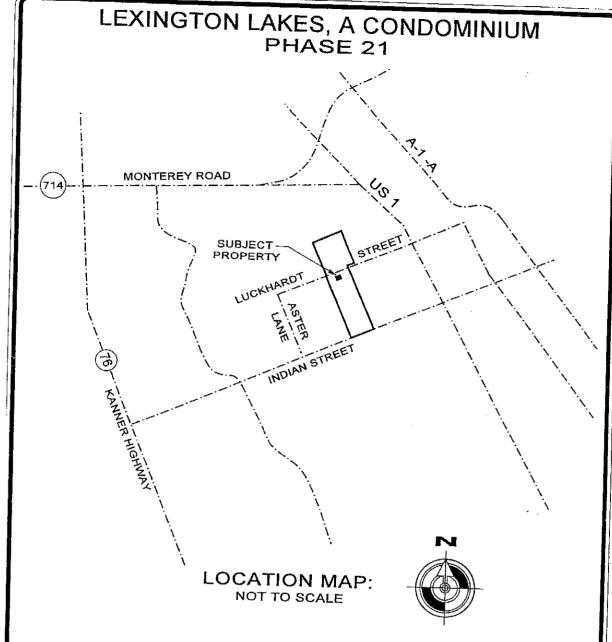
SCALE: 1"=15'

REVISIONS: **EXHIBIT** "B"

3.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

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HAGER, PALBICKE & ASSOCIATES, INC. THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, DATE: APRIL 2004 STATE OF FLORIDA NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR EXHIBIT "B"

3.)

HAGER, PALBICKE & ASSOCIATES, INC.
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3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

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COMMENCING at the intersection of the centerline of INDIAN STREET. with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 1495.51 feet; thence N.66°47'06"E., a distance of 209.82 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 113.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

HAGER, PALBICKE & ASSOCIATES, INC.

PHONE: (561) 395-3600

PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING - COMMON ELEMENT. A= A/C C.R. PG. - PAGE PROP. - PROPOSED PAVE. - PROPOSED PAVE. - PERMANENT CONTROL POINT P.C.P. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION R= RADIUS R/W - RIGHT OF WAY SEC. - SECTION F.F. F.H. - FINISHED FLOOR - FIRE HYDRANT - FIRE HYDRANY - GARAGE - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE GAR. C.E. C.B. C.B.S. CH C.L.F. - CATCH BASIN - CONCRETE BLOCK & STUCCO CHORD CHAIN LINK FENCE I.R.C. L.C.E. M.H. N.T.S. - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK D= D.E. DRAIN. EASE. N&D N&T O.R.B. P.B. - SECTION - TYPICAL - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE - ELEVATION EL. W.M. W.V. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL C/L or C CENTERLINE **(S)** MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION ELEVATION, AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF 0 MANHOLE, STORM DRAMAGE ELEVATION, AS-BUILT INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; Ш ELEVATION, PROPOSED CATCH BASIN ELEVATION= +16.33 (N.G.V.D.) FLOW ARROW FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 21 - LEGAL DESCRIPTION

EXHIBIT "B"

FAX: (561) 395-2237

REVISIONS:

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

1.)

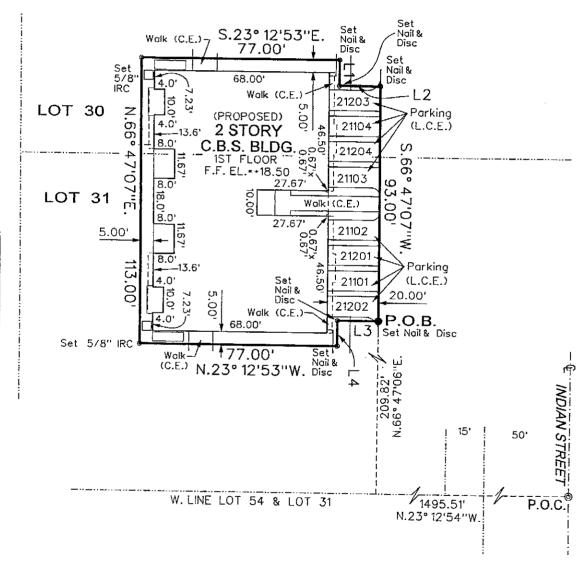
2.) 3.)

4.)



LINE TABLE:

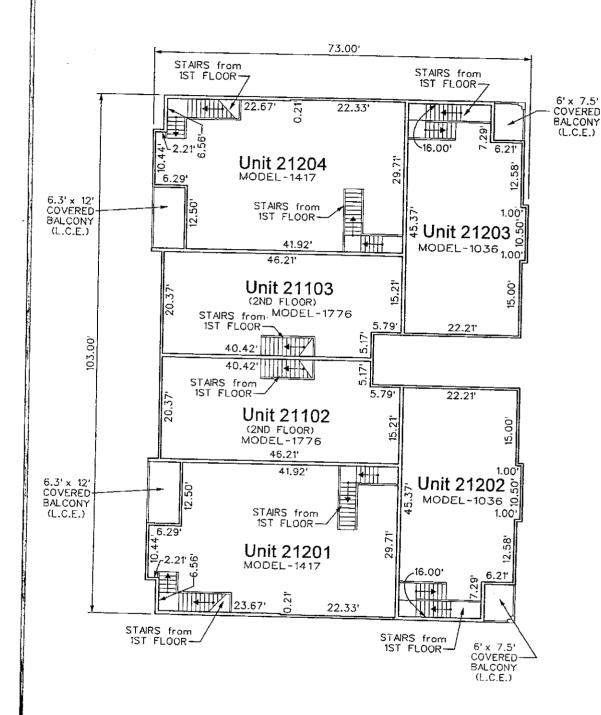
L1 S.66° 47'07"W. - 10.00° L2 S.23° 12'53"E. - 16.00° L3 N.23° 12'53"W. - 16.00° L4 S.66° 47'07"W. - 10.00°



PHASE 21 - SITE PLAN (PROPOSED)

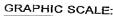


LEXINGTON LAKES, A CONDOMINIUM PHASE 21 (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) STAIRS to STAIRS to 2ND FLOOR 2ND FLOOR Unit 21204 (L.C.E.) Unit 21203 68.001 (L.C.E.) CONC 4.67' x 4.31' COVERED ENTRY A/C PADS (C.E.) (8) **8** TO Unit 21204 (L.C.E.) COVERED ENTRY TO 5.9' x 3.33' STORAGE ROOM 22.17 Unit 21203 (L.C.E.) 19.83 Unit 21104 9.67 0.42 (L.C.E.) 82 ♥ Unit 21203 Garage 🕃 6.3' x 10' BUILDING ⊴ં LINE 2ND - FLOOR COVERED Unit 21104 20.0 PATIO MODEL-1210 20.08 (L.C.E.) 4.00 Unit 21104 Garage 💆 BUILDING 20.08 7 LINE 2ND FLOOR 20.08 34.01 ਲੂੰ Unit 21204 Garage 8.00 38.00' STAIRS to COVERED 2ND FLOOR 20.08 Unit 21103 Unit 21204-PATIO-20.08 (L.C.E.) (1ST FLOOR) COVERED MODEL-1776 ENTRY-Unit 21103 Garage 8,004 ENTRY-8.00 STAIRS to 20.081 (L.C.E.) 2ND FLOOR .5. J Š αί 1 27.00 39.001 'n 103 **ENTRY** 39.00 (C.E.) ū STAIRS to-27.001 8.00 2ND FLOOR COVERED 20.08 ENTRY 8.00 (L.C.E.) ූදී Unit 21102 Garage දි Unit 21102 STARS to ON THE STARS TO STA COVERED 20.08 PATIO-(1ST FLOOR) MODEL-1776 38.00 (L.C.E.) Unit 21201 20.08 8.00 (L.C.E.) Unit 21201 Garage 🔄 BUILDING 34.0 LINE 2ND ++++ FLOOR -20.081 7.70 5 20.08 6.3' x 10' 꽃 Unit 21101 Garage 호 4.00 COVERED Unit 21101 PATIO-BUILDING 20.081 LINE 2ND (L.C.E.) MODEL-1210 FLOOR 20.08 5.9' x 3.33' STORAGE ROOM Unit 21202 Garage 🕏 10.42 Unit 21101 COVERED ENTRY TO Unit 21202 (L.C.E.) 22.17 (L.C.E.) CONC. 4.67' x 4.31' COVERED ENTRY TO Unit 21201 (8) A/C PADS STAIRS to STAIRS to-2ND FLOOR-2ND FLOOR (L.C.E.) Unit 21202 (L.C.E.) Unit 21201 (L.C.E.) (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS. PHASE 21 - BUILDING 1ST FLOOR PLAN: UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90 GRAPHIC SCALE: 10 30 40 50 SCALE: 1"≃15' REVISIONS: EXHIBIT "B" 1.) HAGER, PALBICKE & ASSOCIATES, INC. 2.) PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 3.) 4. } PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEET 4 OF 6 SHEETS



PHASE 21 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +38.75 LOWER LIMITS (UNIT): +29.42





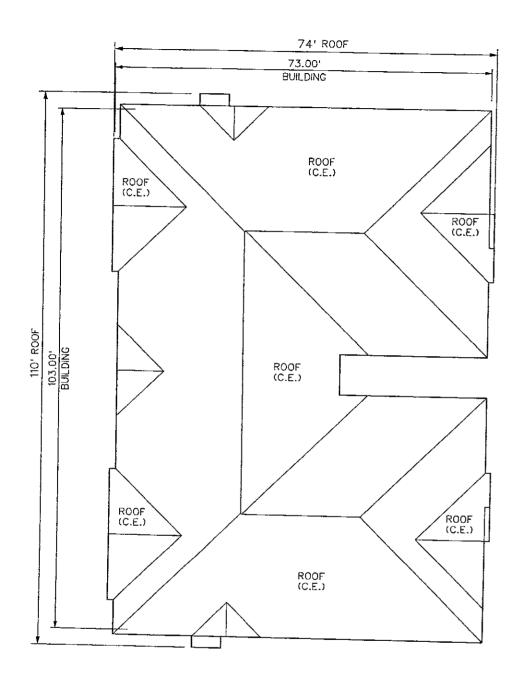
SCALE: 1"=15"

REVISIONS:

EXHIBIT "B" 1.) 2.) 3.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237

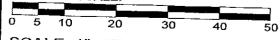
4.) DATE: APRIL 2004 SHEET 5 OF 6 SHEETS





PHASE 21 - BUILDING **ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

REVISIONS: EXHIBIT "B"

3.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

4.) DATE: APRIL 2004 SHEET 6 OF 6 SHEETS



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PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237 EXHIBIT "B" 2.) 3.)

DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

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PHASE 22 - LEGAL DESCRIPTION

LAND SURVEYORS

FAX: (561) 395-2237

HAGER, PALBICKE & ASSOCIATES, INC.

3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

PROFESSIONAL

PHONE: (561) 395-3600

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EXHIBIT "B"

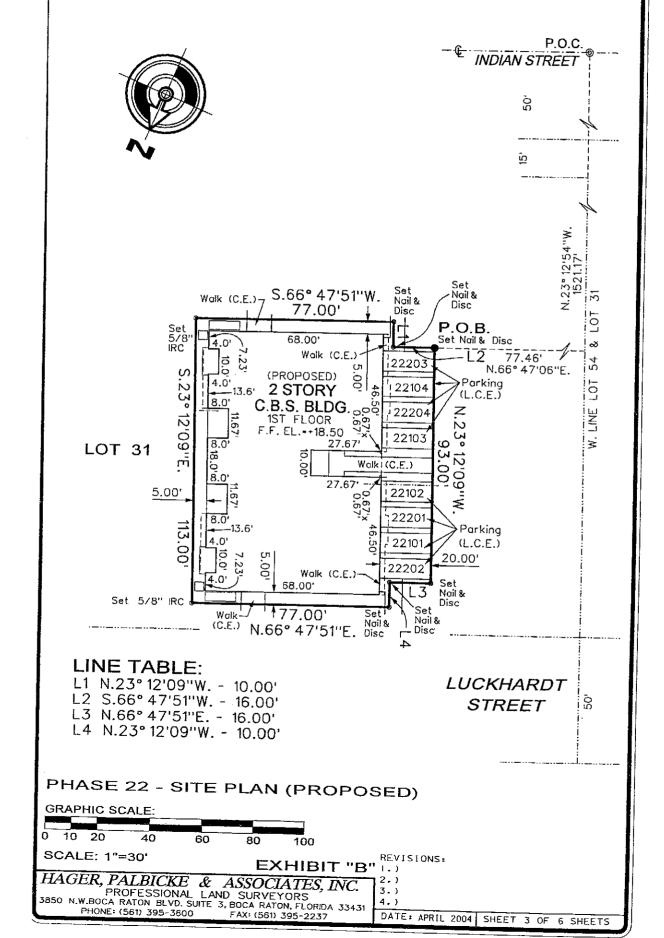
REVISIONS:

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

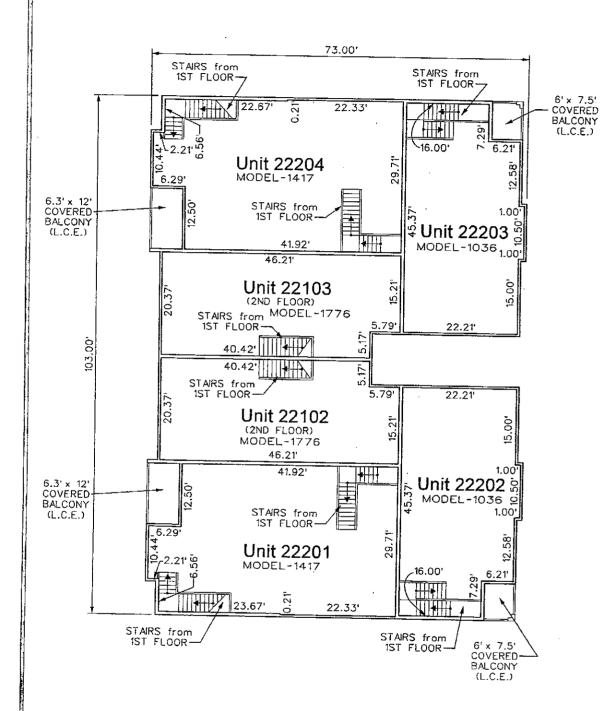
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3.)

4.)



LEXINGTON LAKES, A CONDOMINIUM PHASE 22 (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL) STAIRS to STAIRS to 2ND FLOOR 2ND FLOOR Unit 22204 Unit 22203-(L.C.E.) 68.001 (L.C.E.) CONC 4.67' x 4.31' COVERED ENTRY A/C PADS (C.E.) **®** TO Unit 22204 (L.C.E.) COVERED ENTRY TO Unit 22203 5.9' x 3.33' STORAGE ROOM Unit 22104 22.17 (L.C.E.) 19.83 10.42 (L.C.E.) Unit 22203 Garage BUILDING 6.3' x 10' COVERED LINE 2ND Unit 22104 20.0 FLOOR PATIO <u>4</u>.17' 20.08 MODEL-1210 (L.C.E.) 4.00 S Unit 22104 Garage BUILDING 20.08 LINE 2ND FLOOR 20.08 34.0 ූපි Unit 22204 Garage 🖺 8.00 38.00 STAIRS to 67 2ND FLOOR Unit 22103 Unit 22204— (L.C.E.) COVERED 20.08 Ξ PATIO -20.08 (L.C.E.) (1ST FLOOR) COVERED 8.001 Unit 22103 Garage 😤 MODEL-1776 ENTRY-8.00 STAIRS to-2ND FLOOR 20.08 (L.C.E.) ω. Š 27.00° 39.00 ហ īo ENTRY 03 39.00 8 (C.E.) ത STAIRS to 27.00 ഗ് COVERED 2ND FLOOR 8.00 20.08 ENTRY. 8.00' යි Unit 22102 Garage දි (L.C.E.) Unit 22102 STARS to O COVERED 67 20.081 PATIO MODEL-1776 38.00 (L.C.E.) Unit 22201 (L.C.E.) 20.08 8.00 Unit 22201 Garage 25 BUILDING 34.0 LINE 2ND +---20.081 FLOOR 2 20.081 6.3' x 10' Unit 22101 Garage 🖺 4.00 COVERED BUILDING Unit 22101 PATIO-20.081 LINE 2ND (L.C.E.) MODEL-1210 FLOOR 20.08 Unit 22202 Garage S 5.9' x 3.33' STORAGE ROOM ∾ં 10.42 Unit 22101-19.83 COVERED (L.C.E.) ENTRY TO Unit 22202 22.17 (L.C.E.) 4.67' x 4.31' COVERED ENTRY CONC. A/C PADS STAIRS to (C.E.) STAIRS to TO Unit 22201 2ND FLOOR-2ND FLOOR Unit 22201 (L.C.E.) (SEE 2ND FLOOR PLAN FOR DETAIL) (L.C.E.) Unit 22202 (L.C.E.) (SEE 2ND FLOOR PLAN FOR DETAIL) CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS. PHASE 22 - BUILDING 1ST FLOOR PLAN: UPPER LIMITS (UNIT): <u>+27.83</u> (GARAGE): <u>+27.83</u> LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90 GRAPHIC SCALE: 10 50 SCALE: 1"=15" REVISIONS: EXHIBIT "B" 1.) HAGER, PALBICKE & 2.) ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3.) 850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 4.) PHONE: (561) 395-3600 FAX: (561) 395-2237 DATE: APRIL 2004 SHEET 4 OF 6 SHEETS

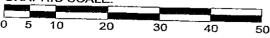


PHASE 22 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +38.75 LOWER LIMITS (UNIT): +29.42



SCALE: 1"=15"



HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

PHONE: (561) 395-3600 FAX: (561) 395~2237

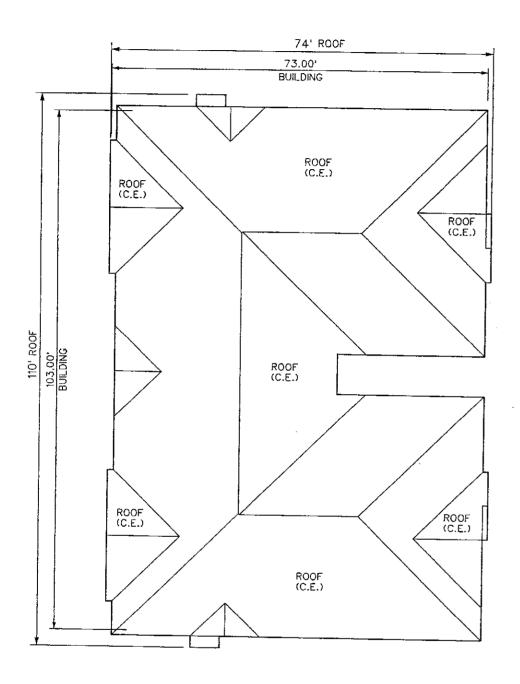


REVISIONS: 1.)

EXHIBIT "B"

3.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS





PHASE 22 - BUILDING **ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

REVISIONS: EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

3.)



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these

HAGER, PALBICKE & ASSOCIATES, INC. THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, DATE: APRIL 2004 NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED

LAND SURVEYOR HAGER, PALBICKE & ASSOCIATES, INC.

EXHIBIT "B"

PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lot 13, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 35.26 feet; thence N.66°47'03"E., a distance of 75.66 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°13'35"W., a distance of 130.67 feet; thence N.66°46'25"E., a distance of 80.00 feet; thence S.23°13'35"E., a distance of 130.67 feet; thence S.66°46'25"W., a distance of 80.00 feet to the POINT of BEGINNING.

Said lands contain 0.240 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X

BASE FLOOD ELEVATION: N/A

ABBREVIATIONS:

C.L.F. CONC. D= D.E. DRAIN. EASE. EL. NOTE	- ARC LENGTH - ARC COMDITIONER - AIR COMDITIONER - COUNTY RECORDS - BUILDING COMMON ELEMENT CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - ORAINAGE EASEMENT - DRAINAGE - EASEMENT - ELEVATION S:	F.F. F.H. GAR. FND. I.P. C. I.R.C. L.C.E. M.H. NAT. NAD NAT. O.R.B. P.B.	- FINISHED FLOOR - FIRE HYDRANT - CARAGE - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK	P.O.B.	- PAGE - PROPOSED - PAVEMENT - PERMANENT CONTROL POINT - PERMANENT REFERENCE MONUMENT - POINT OF BEGINNING - POINT OF COMMENCEMENT - POINT OF TERMINATION - RADIUS - RIGHT OF WAY - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE
--	--	--	--	--------	--

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929.
 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND:

C/L or @ CENTERLINE B/L or B BASELINE ELEVATION, ELEVATION, **(** ELEVATION, AS-BUILT Ш ELEVATION, PROPOSED FLOW ARROW 4**©**1

EDGE OF WATER MANHOLE, SANITARY SEWER MANHOLE, STORM DRAINAGE CATCH BASIN

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

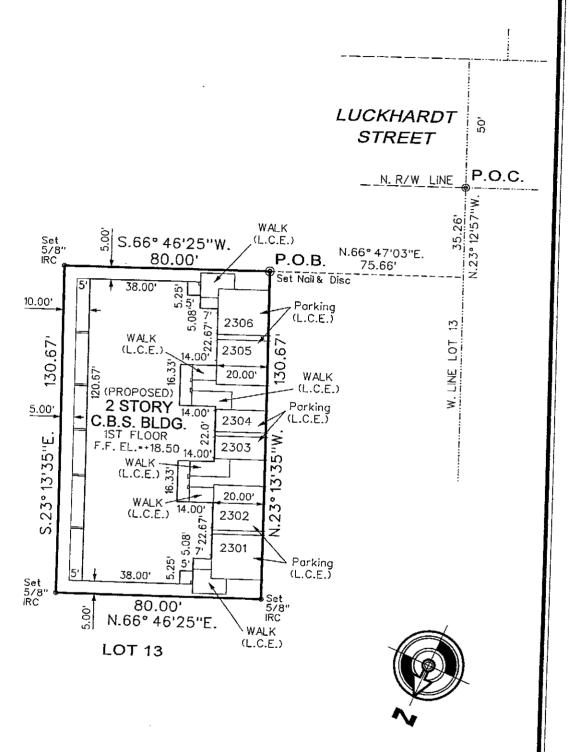
FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 23 - LEGAL DESCRIPTION

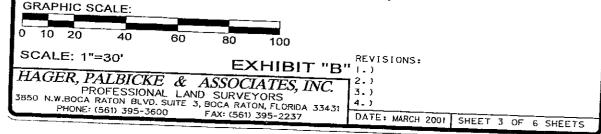
(S)

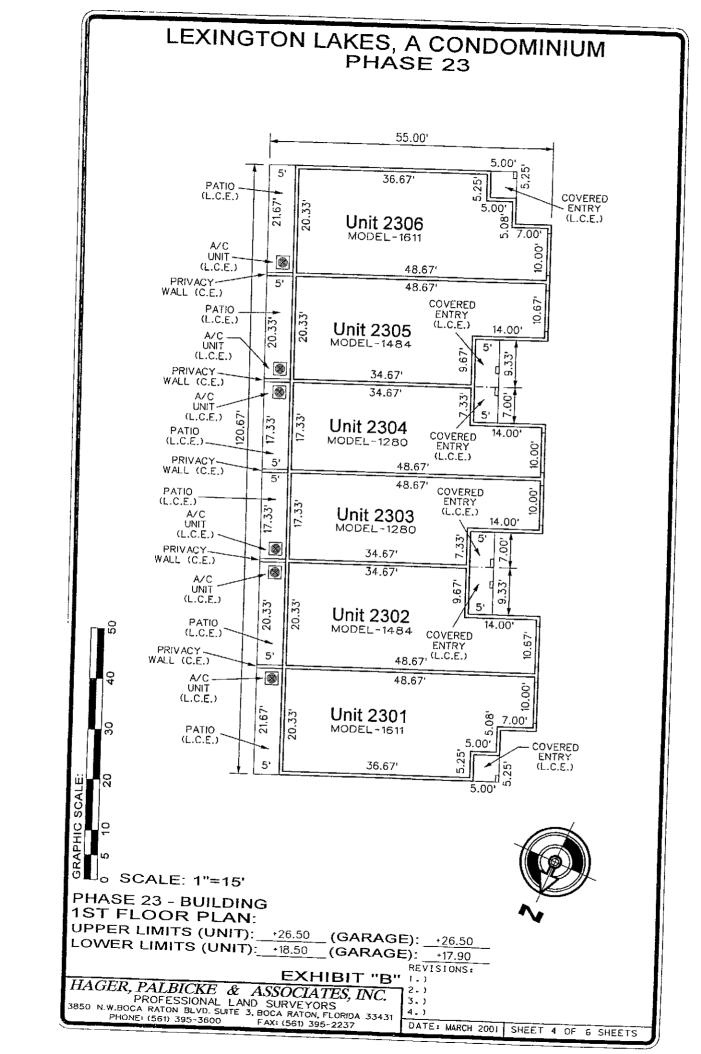
	REVISIONS:
HAGER, PALBICKE & ASSOCIATED DIG	2.)
3850 N.W.BOCA RATION BLVD SURTE TO SURVE TORS	3.) 4.)
PHONE: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL

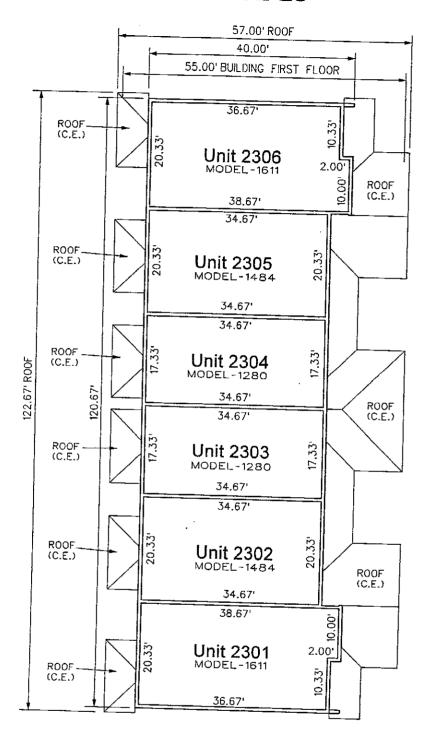
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS



PHASE 23 - SITE PLAN (PROPOSED)



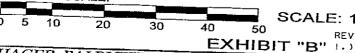




PHASE 23 - BUILDING 2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +35.98 LOWER LIMITS (UNIT): +27.98

GRAPHIC SCALE

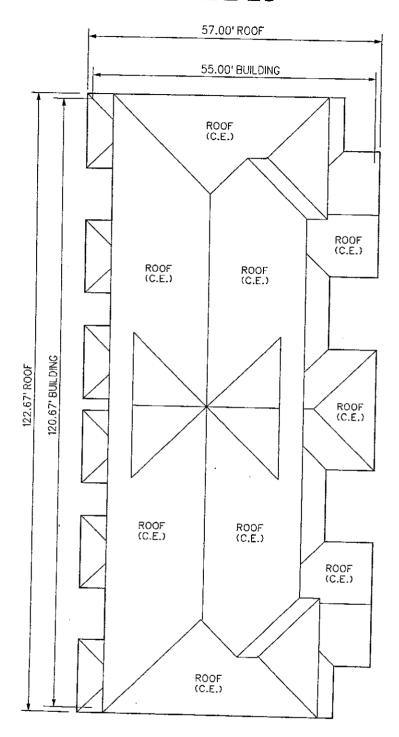


HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237



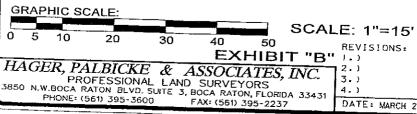
SCALE: 1"=15" REVISIONS:

DATE: MARCH 2001 SHEET 5 OF 6 SHEETS

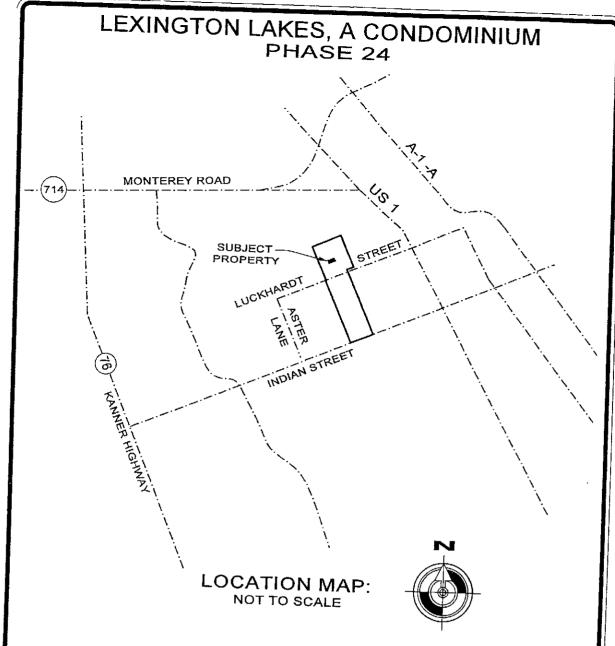




PHASE 23 - BUILDING ROOF PLAN:



DATE: MARCH 2001 SHEET 6 OF 6 SHEETS



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these

HAGER, PALBICKE & ASSOCIATES, INC. BY: THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, DATE: APRIL 2004 NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 3.) 4.) PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET | OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lots 13 and 14, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 229.93 feet; thence N.66°47'03"E., a distance of 170.67 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'53"E., a distance of 166.67 feet; thence S.23°12'07"E., a distance of 80.00 feet; thence S.66°47'53"W., a distance of 166.67 feet; thence N.23°12'07"W., a distance of 80.00 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING A= A/C C.R. - FINISHED FLOOR - FIRE HYDRANT F.H. - FIRE HYDRANT GAR. - GARAGE FND. - FOUND I.P. - JRON PIPE I.P.C. - IRON ROD & CAP I.R.C. - IRON ROD & CAP L.C.E. - LIMITED COMMON ELEMENT M.H. - MANHOLE N.T.S. - NOT TO SCALE NAD - NAIL & DISK NAT - NAIL & TAB O.R.B. - OFFICIAL RECORDS BOOK P.B. - PLAT BOOK F.H. GAR. PG. - PAGE PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION R= RADIUS PAGE TO PAY - PAGE BLOG. C.E. ~ COMMON ELEMENT. - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - FASEMENT C.B.S. CH R= R/W 5EC. D= D.E. - HADIUS - RIGHT OF WAY - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE EASE. - EASEMENT - ELEVATION NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND MAROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER C/L or @ CENTERLINE **(S)** BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL B/L or B BASELINE ELEVATION ELEVATION. MANHOLE, SANITARY SEWER (D) AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT

INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;

ELEVATION= +16.33 (N.G.V.D.)

THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 24 - LEGAL DESCRIPTION

₫**©**₽

ELEVATION, PROPOSED

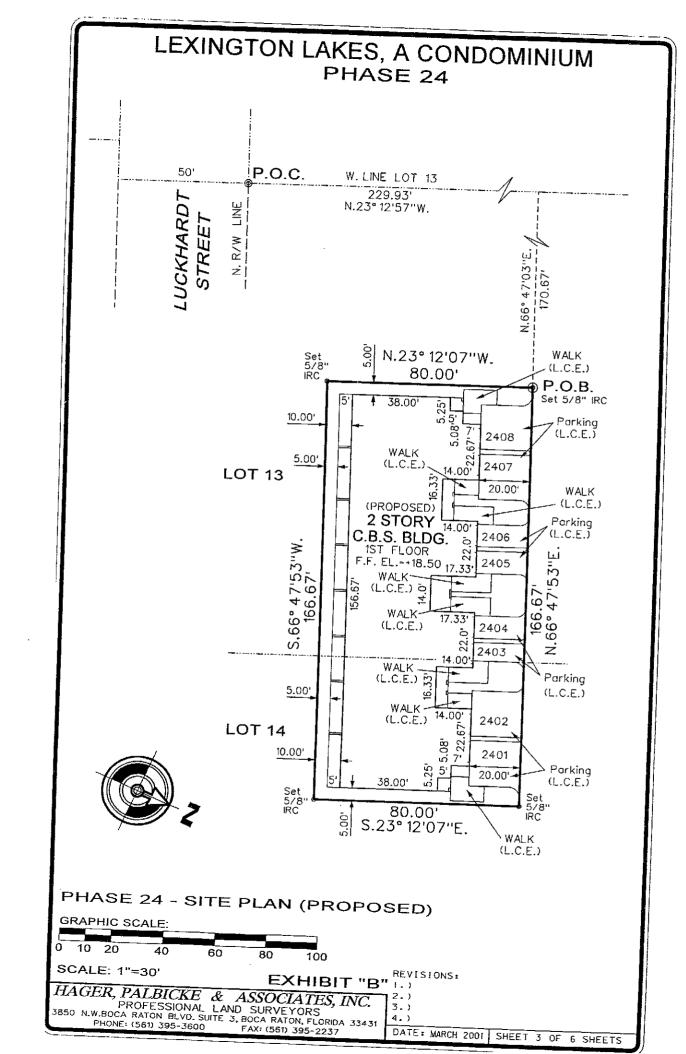
FLOW ARROW

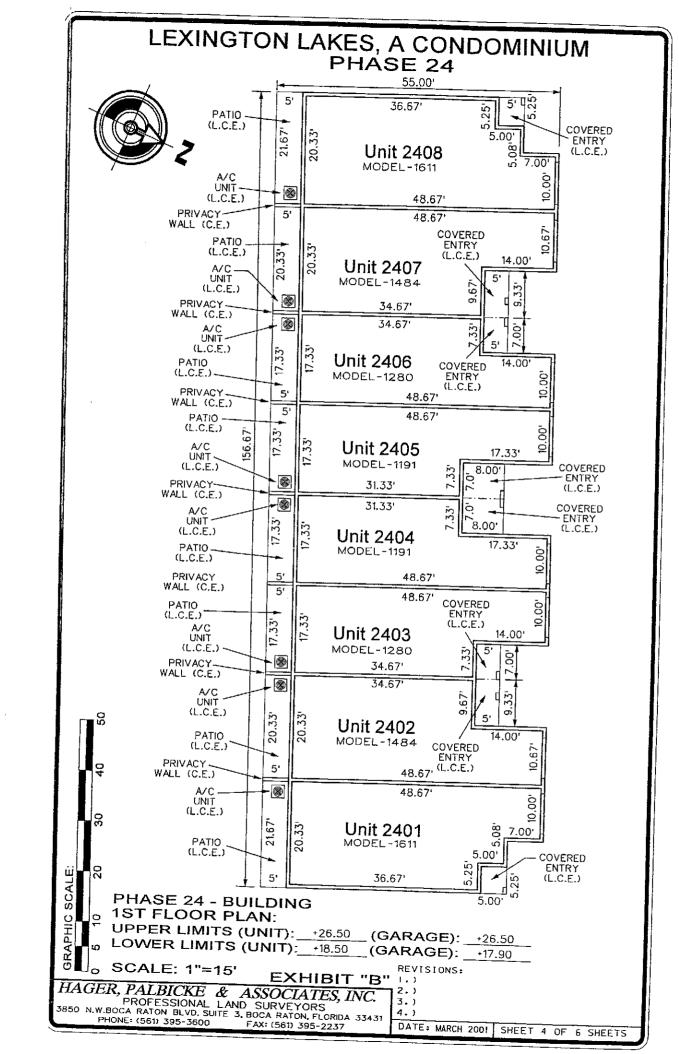
EXHIBIT "B" 7.7 HAGER, PALBICKE & ASSOCIATES, INC. 2.) PROFESSIONAL LAND SURVEYORS 3.) 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 4.) PHONE: (561) 395-3600 FAX: (551) 395-2237 DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

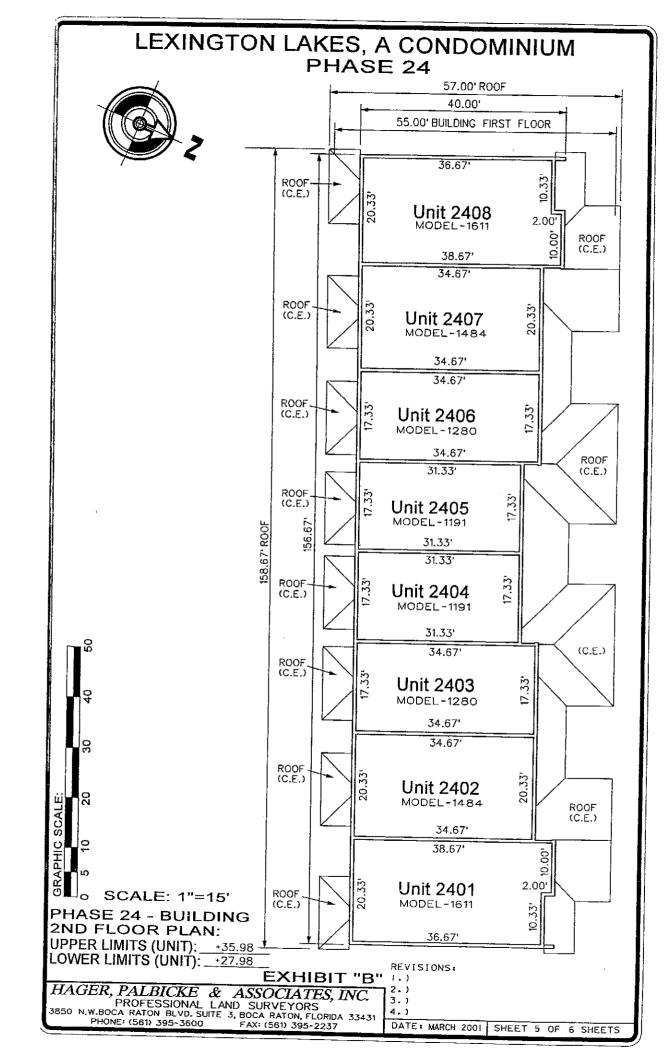
CATCH BASIN

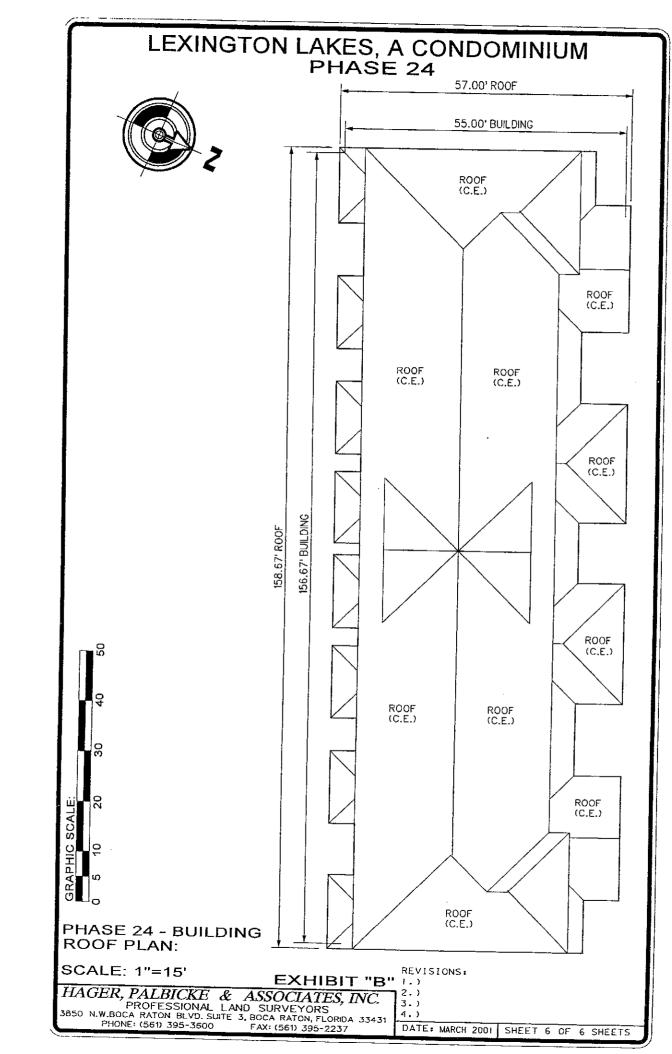
FIRE HYDRANT

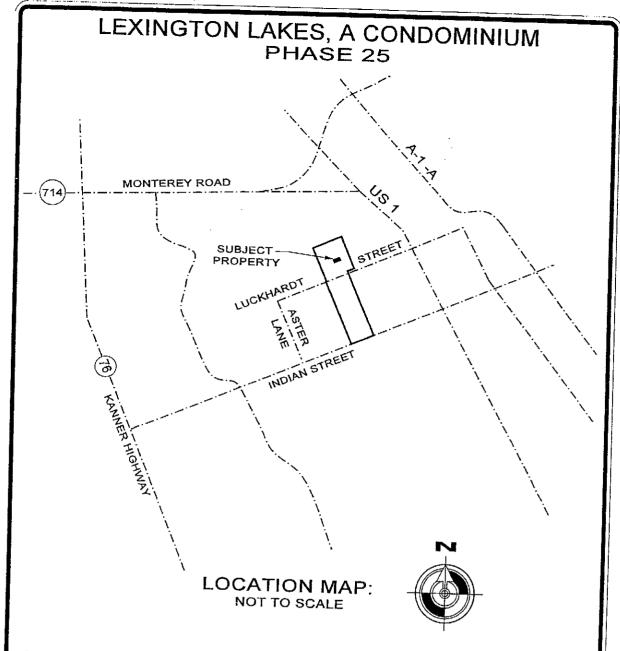
(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG











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HAGER, PALBICKE & ASSOCIATES, INC. THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, DATE: APRIL 2004 STATE OF FLORIDA NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS
N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 4.) PHONE: (561) 395-3600 DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

FAX: (561) 395-2237

LEGAL DESCRIPTION:

A portion of Lot 14, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 229.93 feet; thence N.66°47'03"E., a distance of 170.67 feet; thence N.66°47'53"E.. a distance of 176.67 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'53"E., a distance of 166.67 feet; thence S.23°12'07"E., a distance of 80.00 feet; thence S.66°47'53"W., a distance of 166.67 feet; thence N.23°12'07"W., a distance of 80.00 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: F.F. - FIRE h. GAR. - GARAGE FND. - FOUND I.P. - IRON PIPE I.P.C. - IRON PIPE & CAP I.R.C. - IRON PIDE & CAP I.R.C. - IRON PIDE & CAP I.R.C. - IRON ROD & CAP C.E. - LIMITED COMMON ELEMENT - MANHOLE TO SCALE PISK - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS A= A/C PG. PROP. PAVE. - PAGE - PROPOSED BLDG. BUILDING PROPOSED PAVE. - PAUPEMENT P.C.P. - PERMANENT CONTROL POINT P.G.B. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION R= RADIUS R/W - PIGHT OF WAY COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD С.В. C.B.S. - CHORD - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK D≂ D.E. R/W SEC. TYP. U.E. RIGHT OF WAY DRAIN. - RIGHT OF WAY - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE ÉASE. D.R.B. P.B. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 1.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND 1.) MPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PROPERTY OF MAGEN, PALBICKE & ASSOCIATES, INC. AND WAS FREE ACC. CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 11 SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (C.E.). EDGE OF WATER C/L or & CENTERLINE BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL **(S)** MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION ELEVATION. AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF 0 ELEVATION, AS-BUILT MANHOLE, STORM DRAINAGE ELEVATION, PROPOSED INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; CATCH BASIN FLOW ARROW 101 ELEVATION= +16.33 (N.G.V.D.) FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 25 - LEGAL DESCRIPTION

EXHIBIT "B"

FAX: (561) 395-2237

HAGER, PALBICKE & ASSOCIATES, INC.

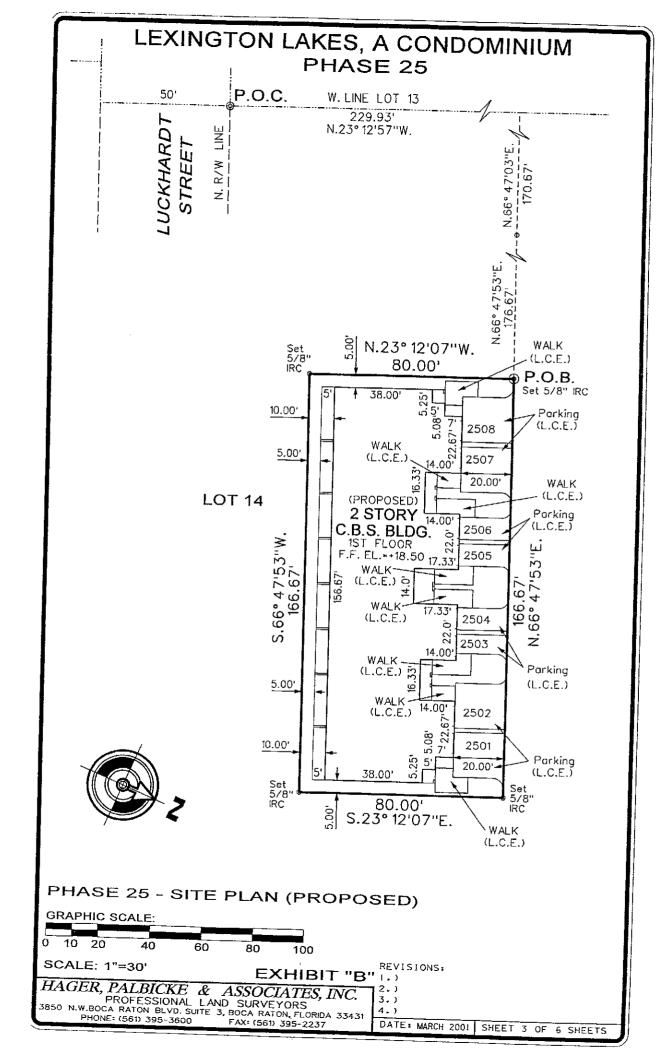
PHONE: (561) 395-3600

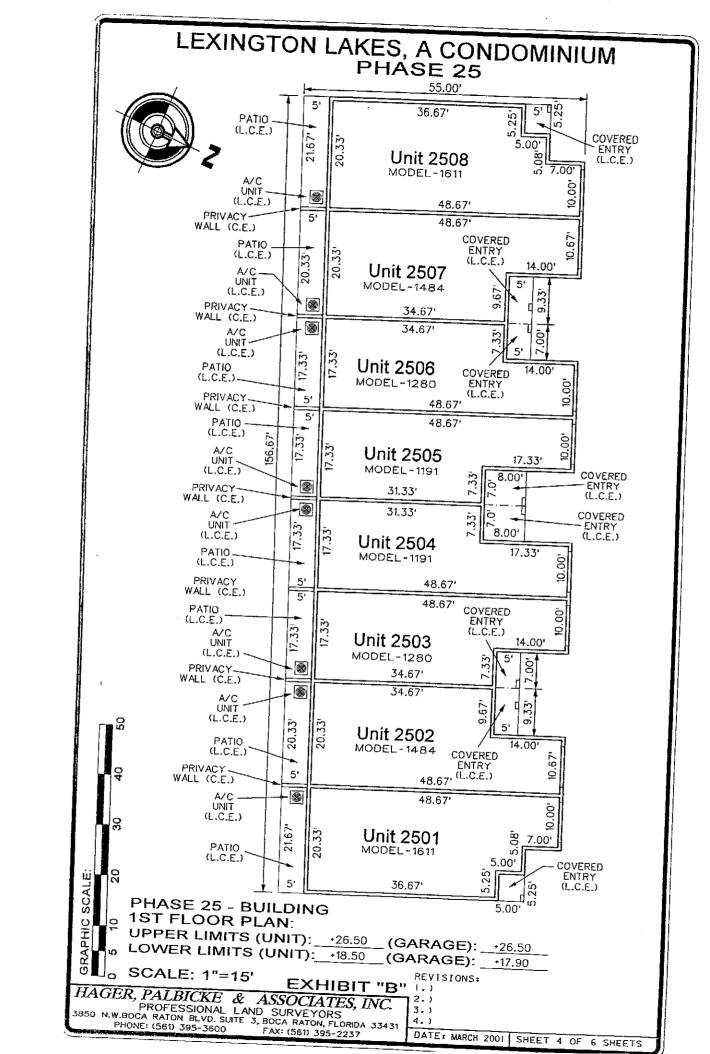
PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 REVISIONS:

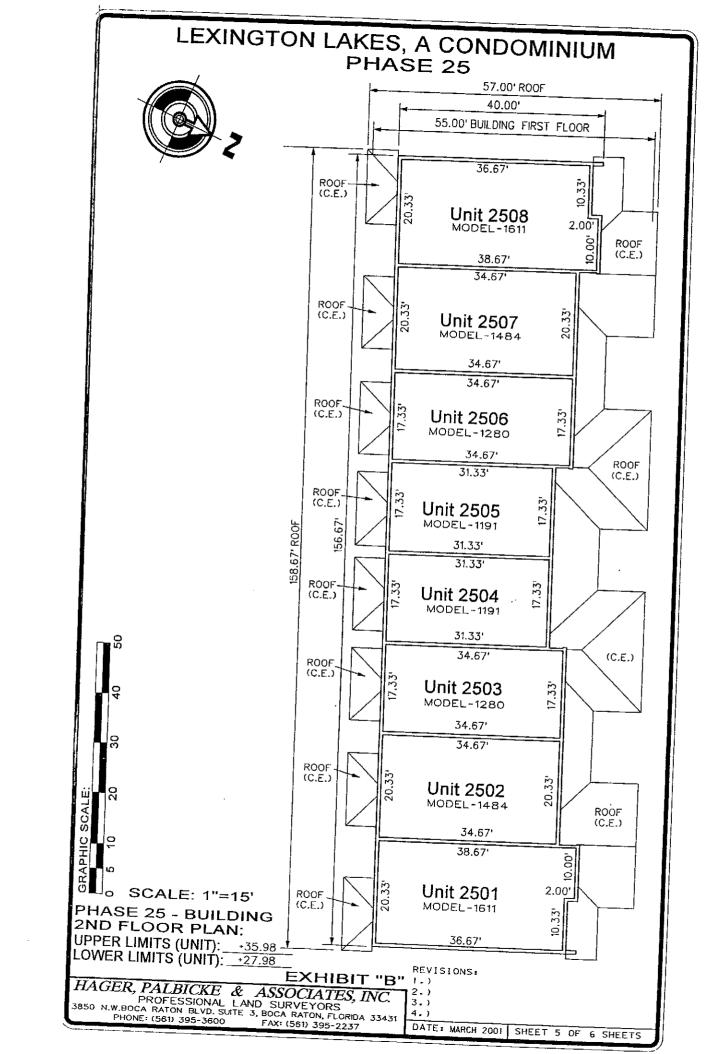
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

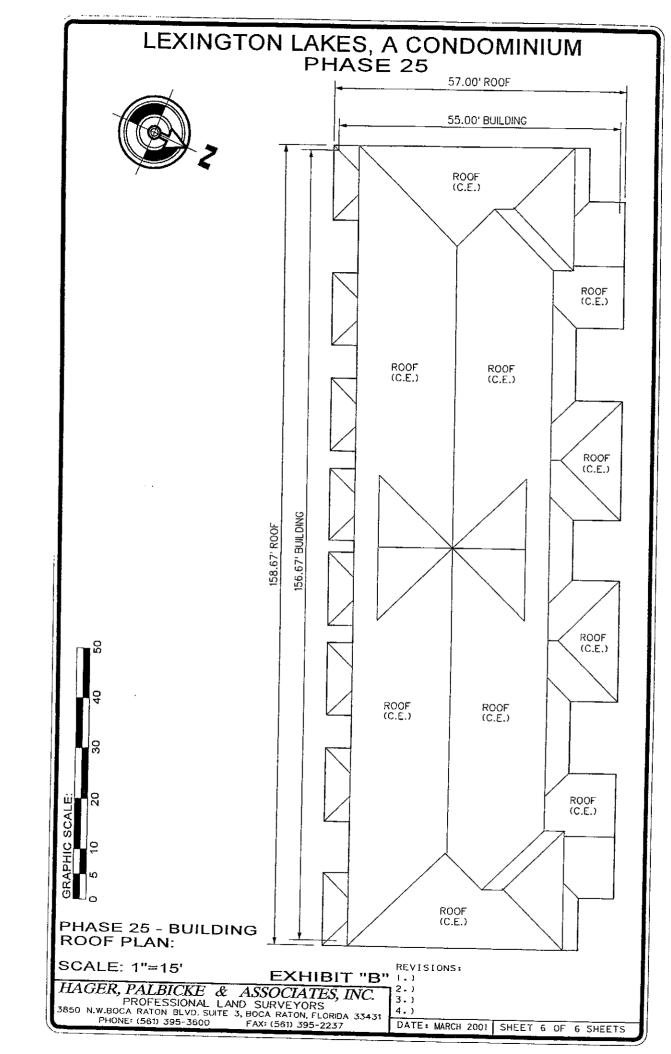
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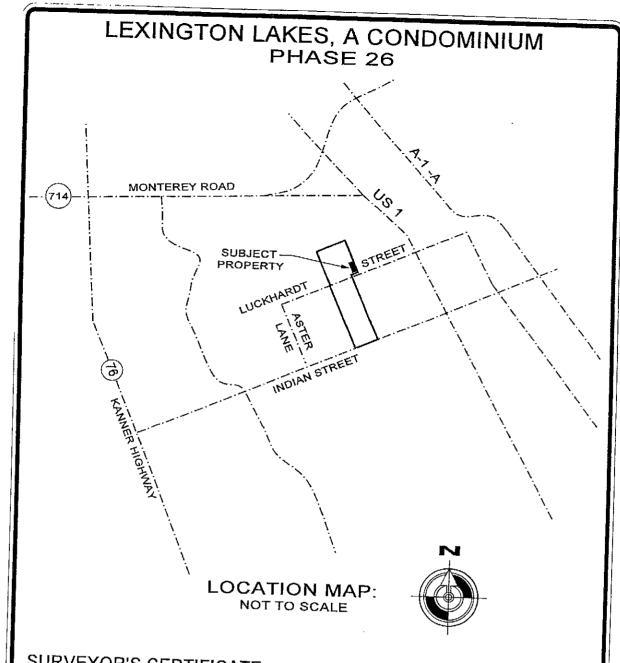
3.) 4.)











The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these

HAGER, PALBICKE & ASSOCIATES, INC. THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, DATE: APRIL 2004 STATE OF FLORIDA NOT VALID UNLESS

EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

4.)

DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lot 15, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the East Line of the West 1/2 of Lot 15; thence N.23°12'54"W., along said East Line of West 1/2, a distance of 66.53 feet; thence S.66°47'06"W., a distance of 35.16 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 208.67 feet; thence N.66°47'53"E., a distance of 80.00 feet; thence S.23°12'07"E., a distance of 208.67 feet to the POINT of BEGINNING.

Said lands contain 0.383 acres, more or less.

HAGER, PALBICKE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS

3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

PHONE: (561) 395-3600

FLOOD INFORMATION MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING - COMMON ELEMENT. - CATCH BASIN A= A/C C.R. PG. - PAGE PROP. - PROPOSED PAVE. - PACHMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION R= RADIUS R/W - RIGHT OF WAY SEC. - SECTION TYP. - TYPICAL U.E. - UTILITY EASEMENT W.M. - WATER METER W.V. - WATER METER - FINISHED FLOOR - FIRE HYDRANT - GARAGE - FOUND - IRON PIPE - IRON PIPE & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOIT - FINISHED FLOOR F.H. BLDG. C.E. C.B. - CATCH BASIN - CONCREYE BLOCK & STUCCO - CHORD - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENT - FLEVATION С.В.S. СН 1. R. C. L.C.E. M.H. N.T.S. N.H. - MANHOLE N.T.S. - NOT TO SCALE NAT - NAIL & TAB O.R.B. - UFFICIAL RECORDS BOOK P.B. - PLAT BOOK D= D.E. EASE. - ELEVATION NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED). 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER C/L or @ CENTERLINE BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL (\$) MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION, AS-BUILT ELEVATION, PROPOSED AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF **(D)** MANHOLE, STORM DRAINAGE Ш INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION, PROPOSED CATCH BASIN FLOW ARROW ELEVATION= +16.33 (N.G.V.D.) FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.). PHASE 26 - LEGAL DESCRIPTION

EXHIBIT "B"

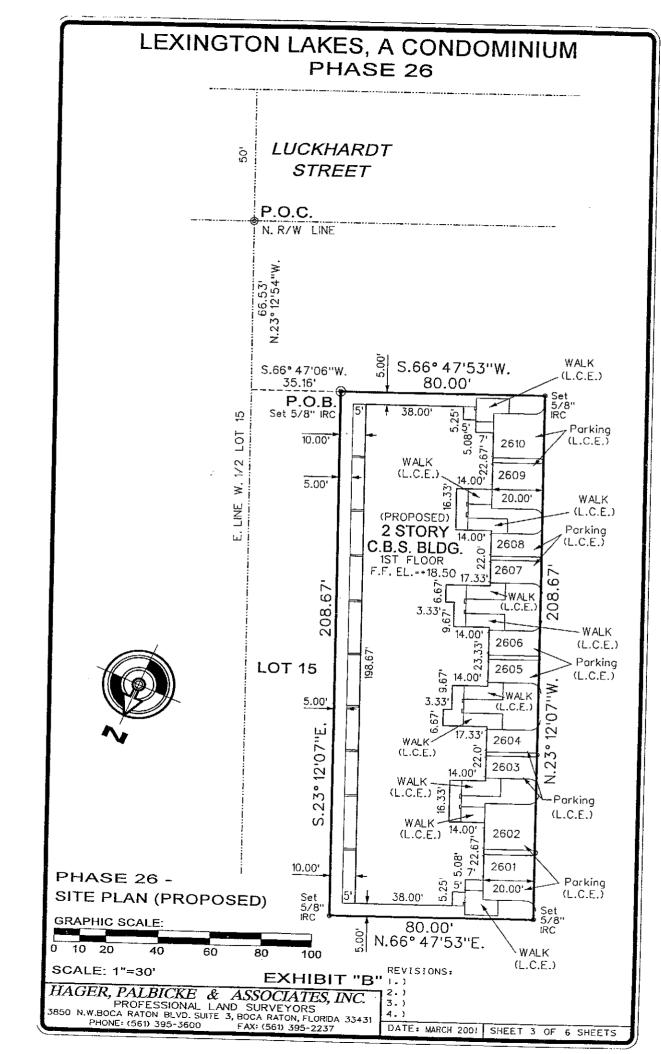
FAX: (561) 395-2237

2.)

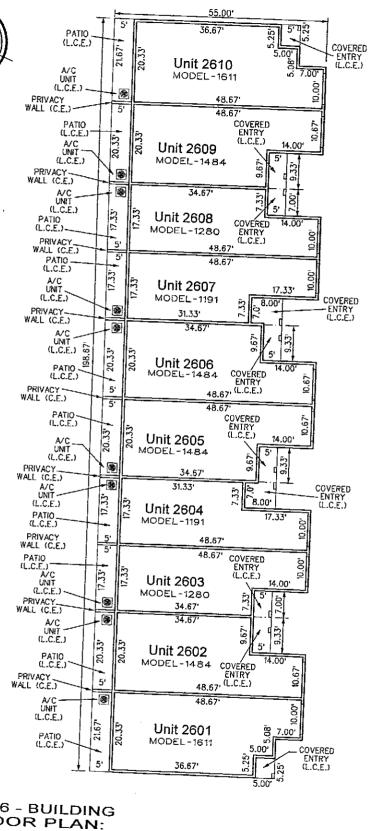
3.)

4.)

DATE: APRIL 2004 | SHEET 2 OF 6 SHEETS







PHASE 26 - BUILDING 1ST FLOOR PLAN:

□ UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50 LOWER LIMITS (UNIT): +18.50 (GARAGE):

SCALE: 1"=20'

EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. 3.)

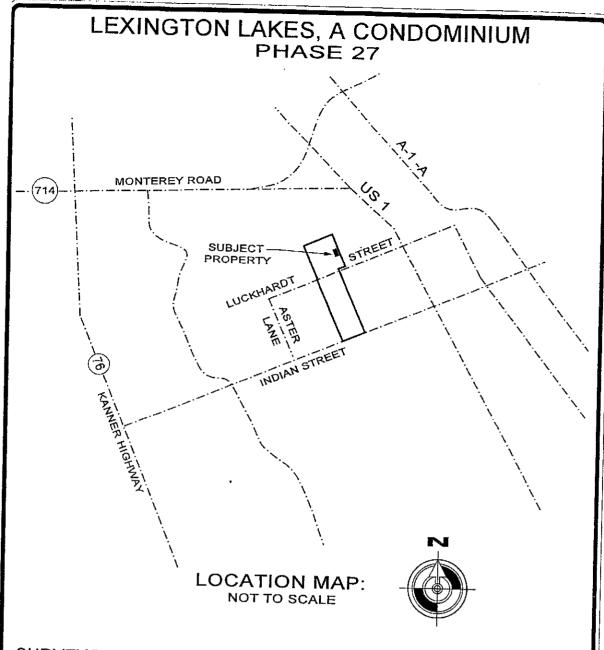
PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 4 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 26 57.00' ROOF 40.00 55.00' BUILDING FIRST FLOOR 36.67 ROOF. 10,33 Unit 2610 2.00 MODEL-1611 8 34.67 20,33 Unit 2609 MODEL-1484 34.67 34.67 ROOF. Unit 2608 MODEL-1280 34.67 ROOF (C.E.) 31.33 ROOF. Unit 2607 17.33 MODEL-1191 31.331 34.67 ROOF (C.E.) 20.33 Unit 2606 MODEL-1484 200.67" ROOF 198.67 34.67 34.67 ROOF (C.E.) Unit 2605 20.33 MODEL-1484 34.67 31.33' ROOF 17.33 Unit 2604 MODEL-1191 31,33 ROOF (C.E.) 34.67 ROOF (C.E.) Unit 2603 17.33 MODEL-1280 34.67 ROOF (C.E.) 20,33 Unit 2602 MODEL-1484 ROOF (C.E.) 34.67 38.57 2.001 ROOF (C.E.) Unit 2601 MODEL-1611 10,33 PHASE 26 - BUILDING 2ND FLOOR PLAN: □ UPPER LIMITS (UNIT): +35.98 ь LOWER LIMITS (UNIT): +27.98 SCALE: 1"=20' REVISIONS: EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. 2.) N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237 3.) 4.) DATE: MARCH 2001 SHEET 5 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 26 57.00' ROOF 55.00' BUILDING ROOF (C.E.) ROOF (C.E.) ROOF (C.E.) ROOF (C.E.) 198,67' BUILDING ROOF (C.E.) 200.67' ROOF ROOF (C.E.) ROOF (C.E.) ROOF (C.E.) ROOF (C.E.) ROOF (C.E.) ROOF (C.E.) PHASE 26 - BUILDING **ROOF PLAN:** SCALE: 1"=20" EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237 3.) 4.} DATE: MARCH 2001 SHEET 6 OF 6 SHEETS

- ...



PHONE: (561) 395-3600

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these

	naterials.	the
	HAGER, PALBICKE & ASSOCIATES, IN	ŧC.
	Y;	
	THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, DATE: APRIL 200- STATE OF FLORIDA	4
	OT VALID UNLESS	
	MBOSSED WITH	
	AISED SEAL OF	•
	TTESTING REGISTERED	
	AND SURVEYOR	
	EXHIBIT "B" REVISIONS:	
F	AGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 ASSOCIATES, INC. 3. 1 4. 1	
	PHONE: (561) 395-3600	

DATE: APRIL 2004 SHEET I OF 6 SHEETS

FAX: (561) 395-2237

LEGAL DESCRIPTION:

A portion of Lot 15, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the East Line of the West 1/2 of Lot 15; thence N.23°12'54"W., along said East Line of West 1/2, a distance of 290.20 feet; thence S.66°47'06"W., a distance of 35.11 feet to the POINT of BEGINNING of the hereinafter described lands; thence \$.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 166.67 feet; thence N.66°47'53"E., a distance of 80.00 feet; thence \$.23°12'07"E., a distance of 166.67 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A

ABBREVIATIONS:

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929.
 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

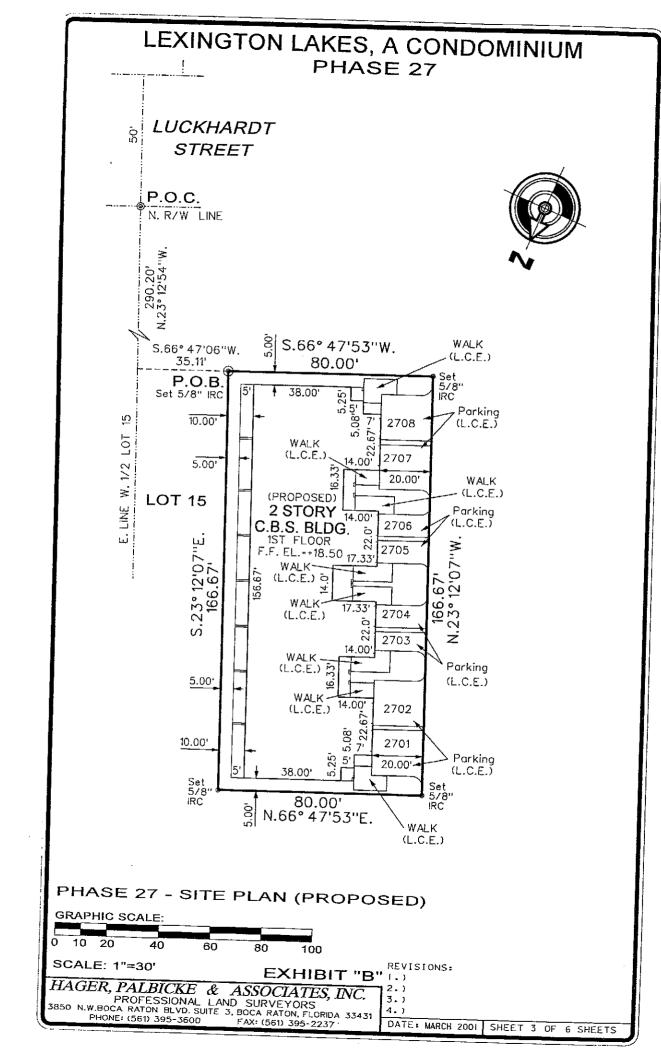
EDGE OF WATER C/L or @ CENTERLINE S MANHOLE, SANITARY SEWER B/L or B BASELINE ELEVATION (O) MANHOLE, STORM DRAINAGE ELEVATION, AS-BUILT CATCH BASIN ELEVATION, PROPOSED 101 FIRE HYDRANT FLOW ARROW

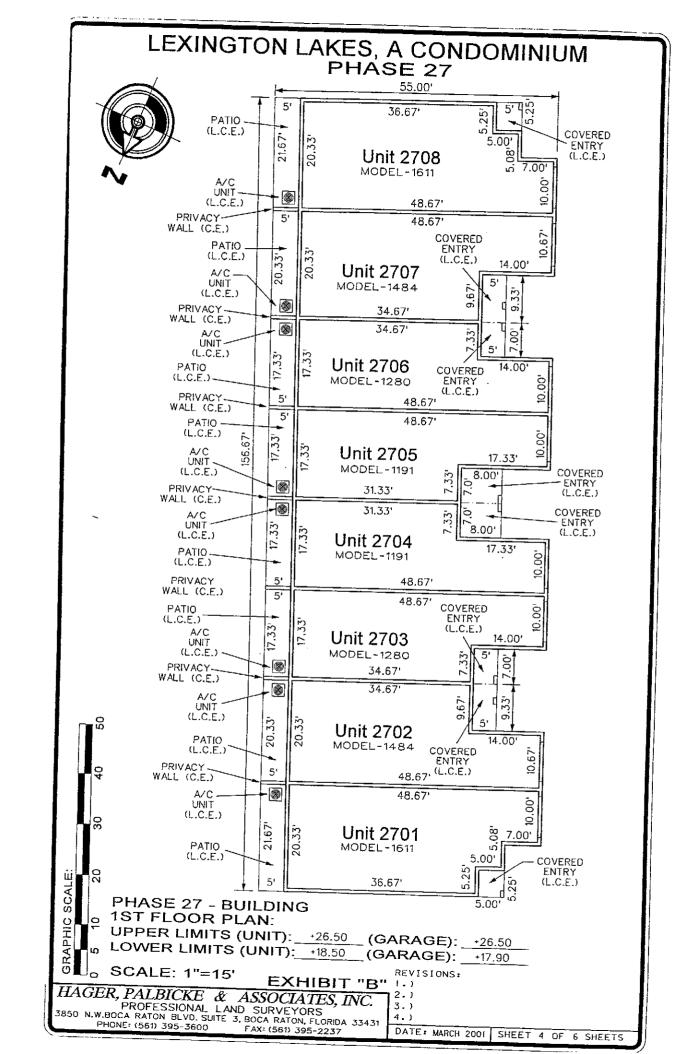
BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.: ELEVATION= +16.33 (N.G.V.D.)

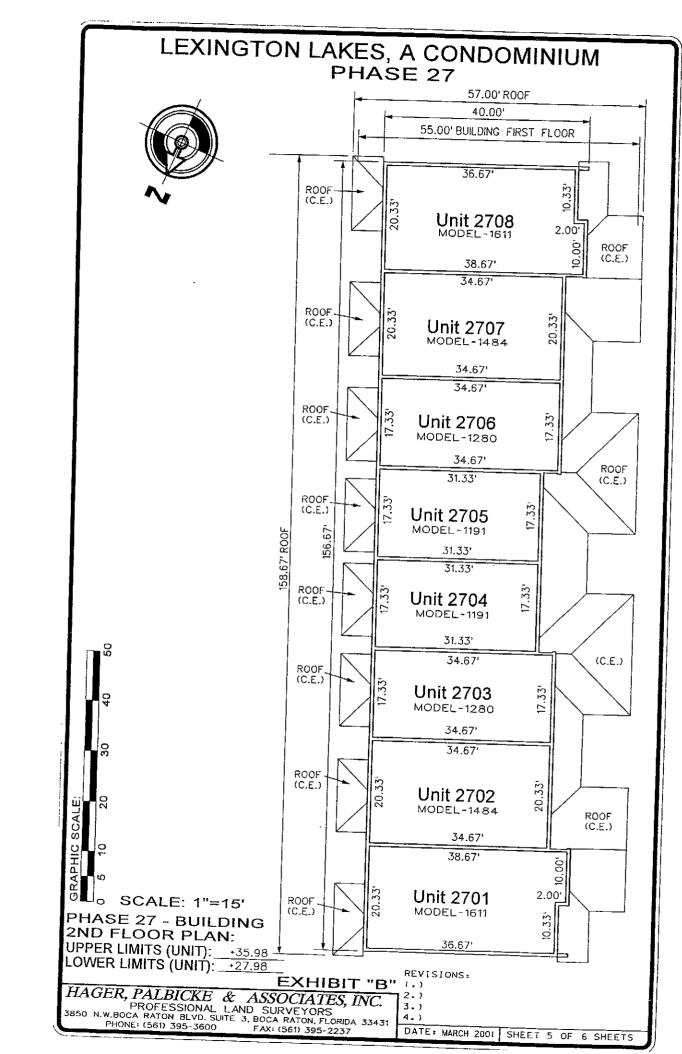
(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

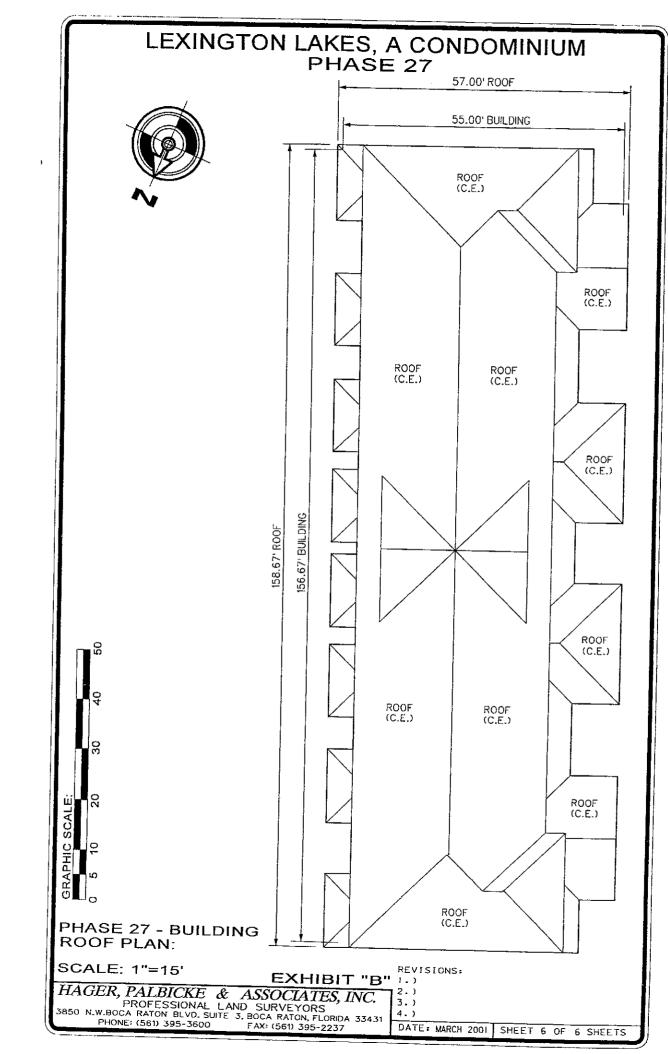
PHASE 27 - LEGAL DESCRIPTION

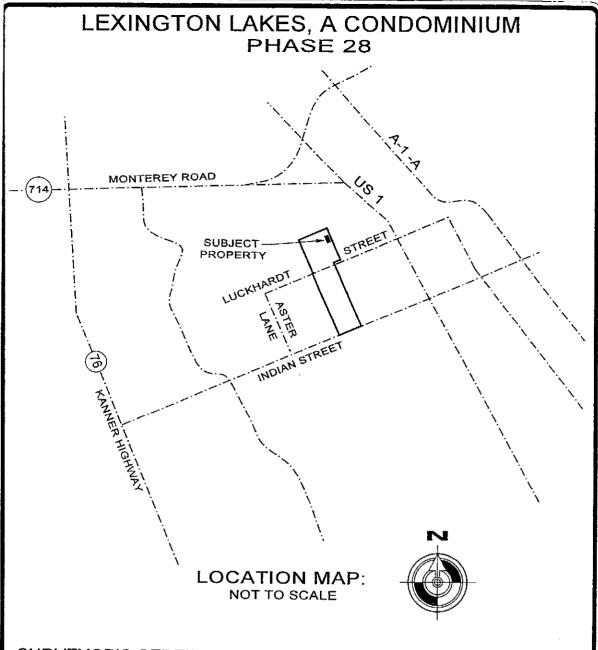
	REVISIONS:
EXHIBIT "B"	
HAGER, PALBICKE & ASSOCIATES, INC. PROFESSIONAL LAND SURVEYORS	2.) 3.) 4.)
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL 2004 SHEET 2 OF 6 SHEETS











The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC. DATE: APRIL 2004 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061, STATE OF FLORIDA NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR REVISIONS: EXHIBIT "B" HAGER, PALBICKE & ASSOCIATES, INC. 4.)

PROFESSIONAL LAND SURVEYORS N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET I OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lot 15, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the East Line of the West 1/2 of Lot 15; thence N.23°12'54"W., along said East Line of West 1/2, a distance of 471.87 feet; thence S.66°47'06"W., a distance of 48.04 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 166.67 feet; thence N.66°47'53"E., a distance of 80.00 feet; thence S.23°12'07"E., a distance of 166.67 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS - BUILDING - COMMON ELEMENT. - CATCH BASIN - CONCRETE BLOCK & STUCCO - CHORD - CHAIN LINK EERICE A= A/C C.R. PG. - PAGE PROP. - PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL POINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION P. ABDIUS - FINISHED FLOOR - FIRE HYDRANT - GARAGE F.H. GAR. FND. I.P. - FOUND FOUND IRON PIPE IRON PIPE & CAP IRON ROD & CAP LIMITED COMMON ELEMENT I.P.C. I.R.C. L.C.E. C.B.S. C.L.F. CONC. CHAIN LINK FENCE - CHAIN LINK FENCE - CONCRETE - DELTA (CENTRAL) ANGLE - DRAINAGE EASEMENT - DRAINAGE - EASEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB M.H. - RADIUS N.T.S. NAD NAT D= D.E. - RIGHT OF WAY DRAIN. EASE. SECTION - TYPICAL D.R.B. ~ OFFICIAL | P.B. ~ PLAT 800K - UTILITY EASEMENT - WATER METER - WATER VALVE - ELEVATION W. V. NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929. 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION. 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772. 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.). LEGEND: EDGE OF WATER

MANHOLE, SANITARY SEWER

MANHOLE, STORM DRAINAGE

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL

ELEVATION= +16.33 (N.G.V.D.)

AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF

INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;

6 SHEETS

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

CATCH BASIN

FIRE HYDRANT

PHASE 28 - LEGAL DESCRIPTION

(3)

(D)

10

C/L or @ CENTERLINE

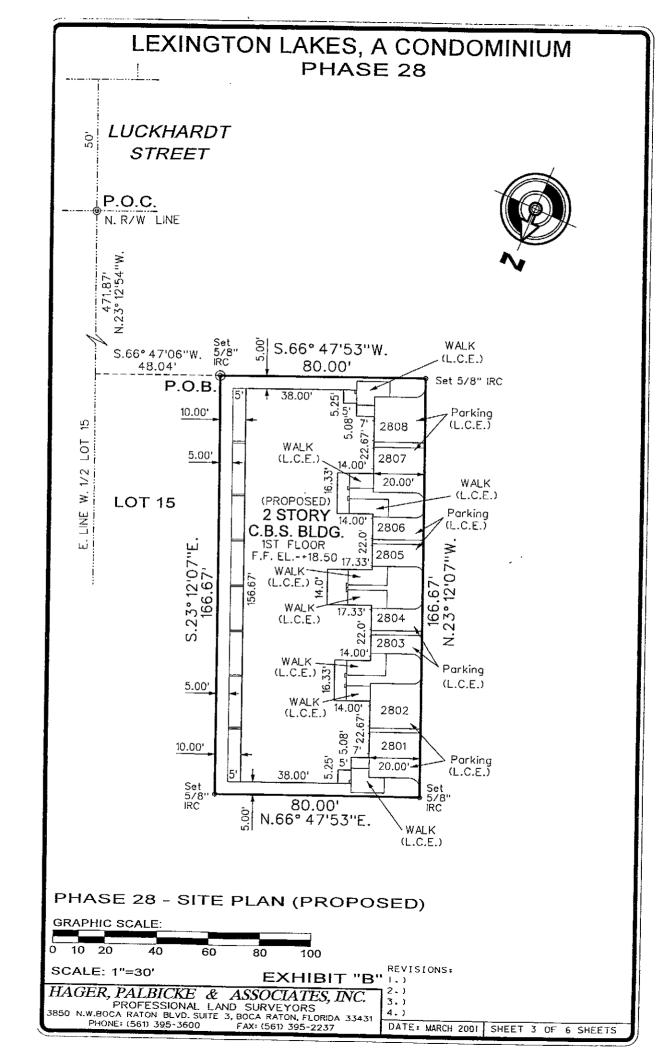
ELEVATION, AS-BUILT

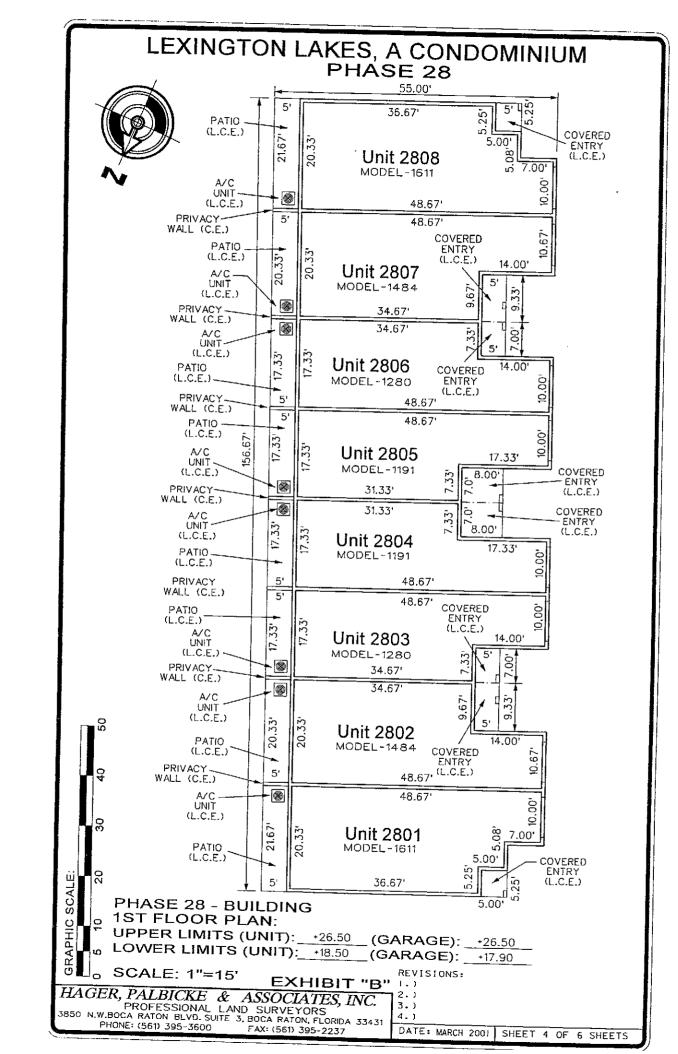
ELEVATION, PROPOSED

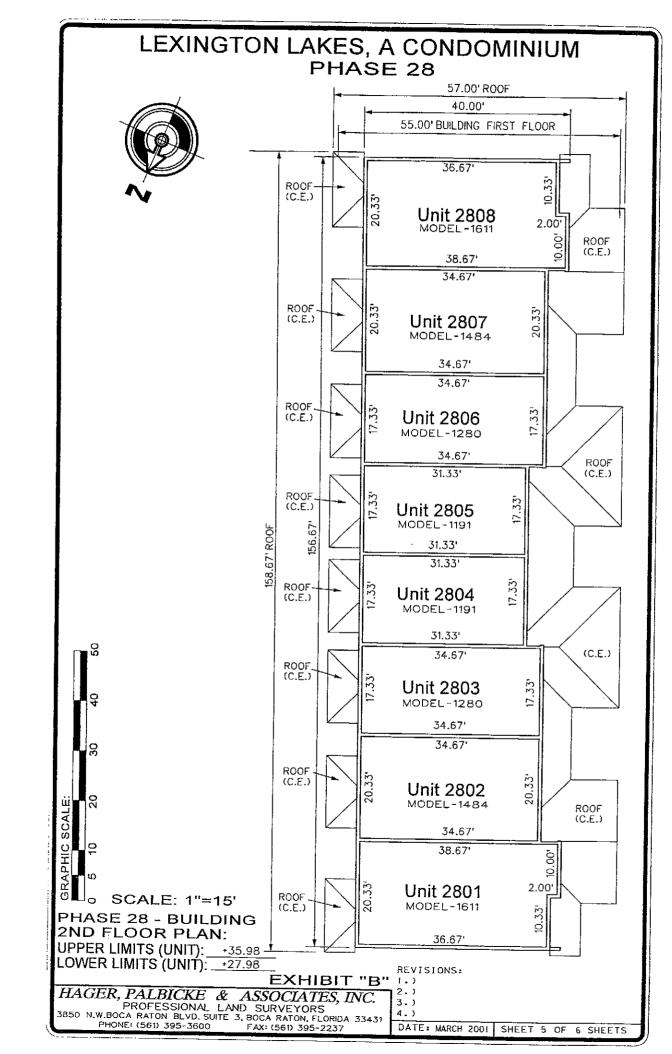
FLOW ARROW

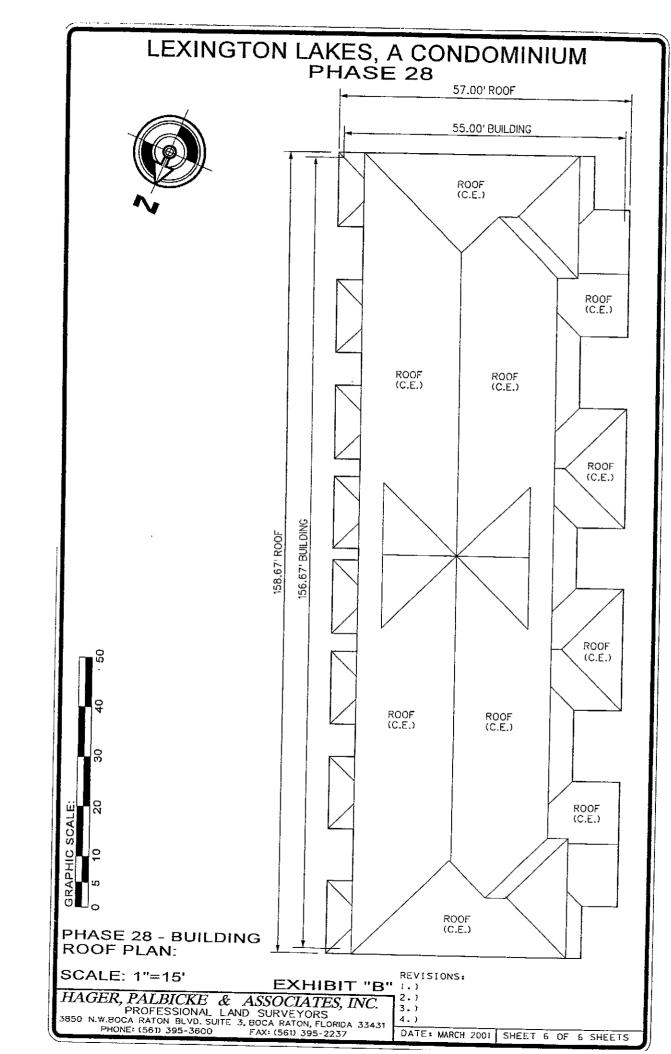
B/L or B BASELINE ELEVATION ELEVATION,

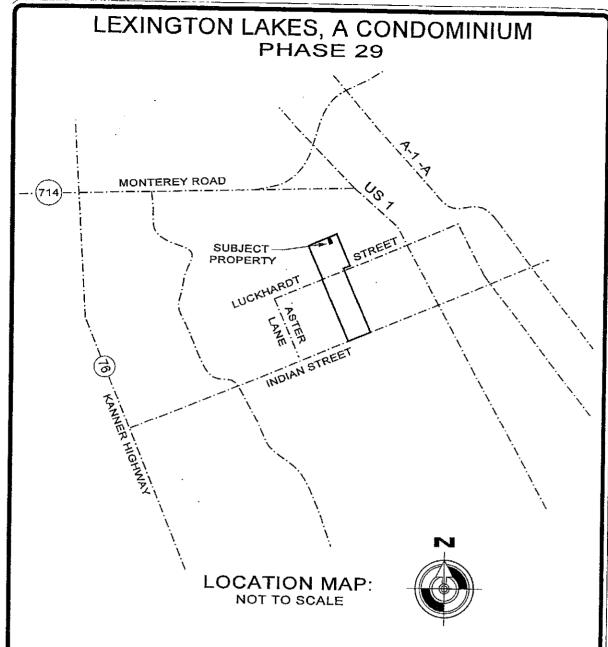
PROFESSIONAL LAND OUTER LES, INC.	(2.) (3.)
PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431 PHONE: (561) 395-3600 FAX: (561) 395-2237	DATE: APRIL 2004 SHEET Z OF











The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC. DATE: APRIL 2004 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061, STATE OF FLORIDA NOT VALID UNLESS EMBOSSED WITH RAISED SEAL OF ATTESTING REGISTERED LAND SURVEYOR

HAGER, PALBICKE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS

N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431

PHONE: (561) 395-3600 FAX: (561) 395-2237

EXHIBIT "B"

4.)

DATE: APRIL 2004 SHEET | OF 6 SHEETS

LEGAL DESCRIPTION:

A portion of Lot 14, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 760.37 feet; thence N.66°47'03"E., a distance of 456.38 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'53"E., a distance of 80.00 feet; thence S.23°12'07"E., a distance of 130.67 feet; thence S.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 130.67 feet to the POINT of BEGINNING.

Said lands contain 0.240 acres, more or less.

FLOOD INFORMATION: MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A ABBREVIATIONS: - ARC LENGTH - AIR CONDITIONER - COUNTY RECORDS A/C C.R. F.F. F.H. GAR. - FINISHED FLO - FIRE HYDRANT FINISHED FLOOR PG. PROP. - PAGE - PROPOSED BLDG. BUILDING COMMON ELEMENT. CATCH BASIN CONCRETE BLOCK & STUCCO PROP. - PROPOSED PAVE. - PAVEMENT P.C.P. - PERMANENT CONTROL PDINT P.R.M. - PERMANENT REFERENCE MONUMENT P.O.B. - POINT OF BEGINNING P.O.C. - POINT OF COMMENCEMENT P.O.T. - POINT OF TERMINATION R= - RADIUS R/W - RIGHT OF WAY SECI.OM - GARAGE - FOUND - IRON PIPE & CAP - IRON PIPE & CAP - IRON ROD & CAP - IRON ROD & CAP - LIMITED COMMON ELEMENT - MANHOLE - NOT TO SCALE - NAIL & DISK - NAIL & TAB - OFFICIAL RECORDS BOOK - PLAT BOOK - GARAGE FND. I.P. I.P.C. I.R.C. CHORD CHAIN LINK FENCE L.C.E. CONCRETE DELTA (CENTRAL) ANGLE DRAINAGE EASEMENT DRAINAGE N.T.S. NAD NAT C.R.B. P.B. Ď.F. - SECTION - SECTION - TYPICAL - UTILITY EASEMENT - WATER METER - WATER VALVE EASE. - EASEMENT - ELEVATION NOTES: 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF

1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). UP 1929.

2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).

3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED ON DEPROPERTY OF WHOLE OR IN PART WITHOUT AUTHORIZATION

IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.

5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or @ CENTERLINE (S) B/L or B BASELINE **(D)** ELEVATION, AS-BUILT ELEVATION, PROPOSED FLOW ARROW 1**9**1

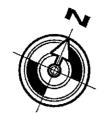
EDGE OF WATER MANHOLE, SANITARY SEWER MANHOLE, STORM DRAINAGE CATCH BASIN

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

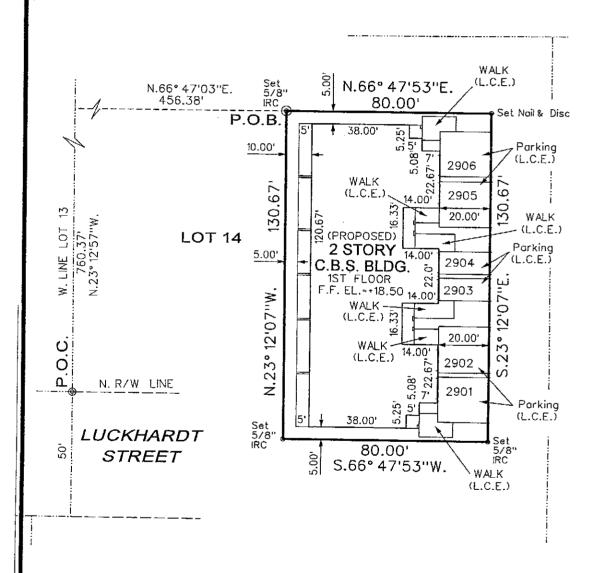
FIRE HYDRANT (BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 29 - LEGAL DESCRIPTION

L EXHIBIT "R"	REVISIONS:
PROFESSIONAL LAND SURVEYORS 3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431	2.) 3.) 4.) DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

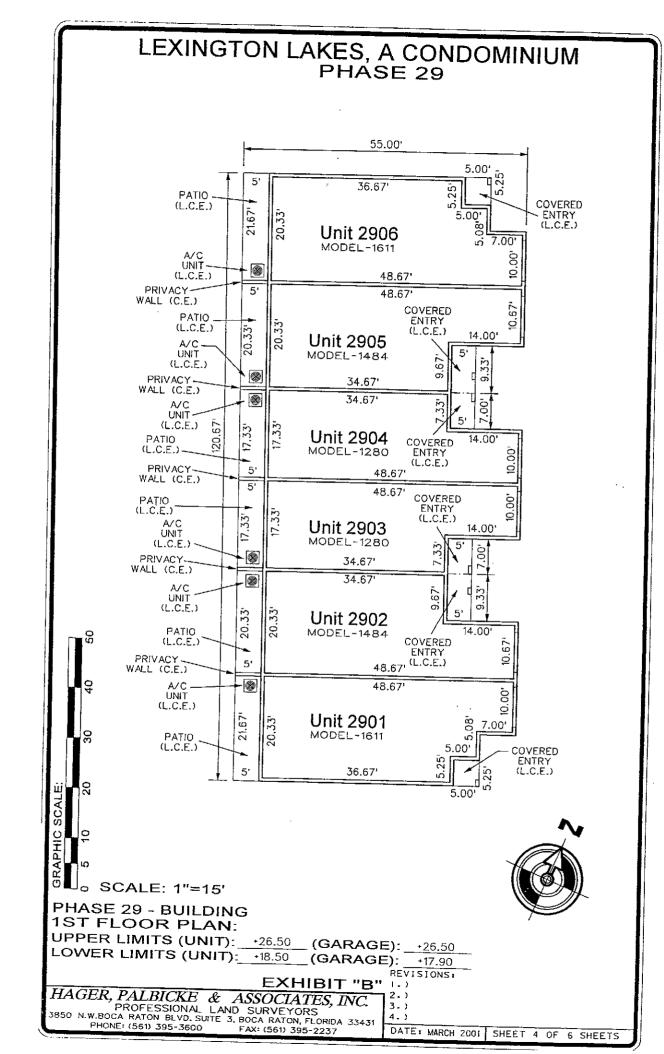


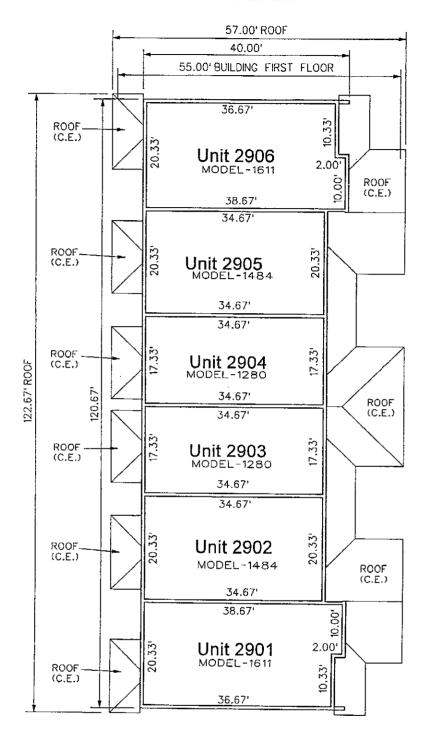
SHEET 3 OF 6 SHEETS



PHASE 29 - SITE PLAN (PROPOSED)



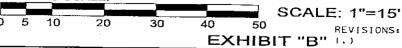






UPPER LIMITS (UNIT): +35.98 LOWER LIMITS (UNIT): +27.98

GRAPHIC SCALE:



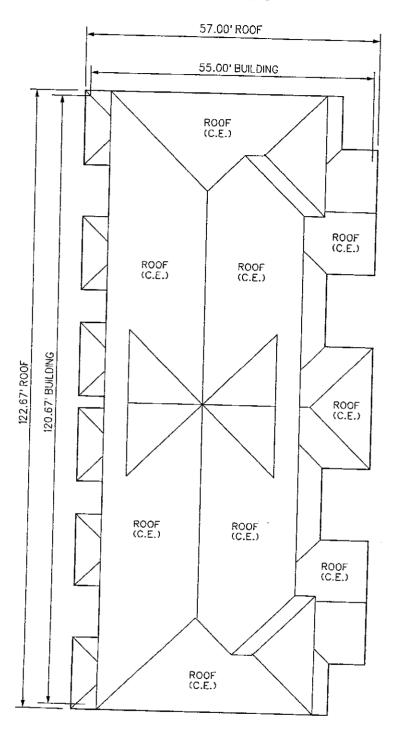
HAGER, PALBICKE & ASSOCIATES, INC.

PROFESSIONAL LAND SURVEYORS
3850 N.W.BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 5 OF 6 SHEETS

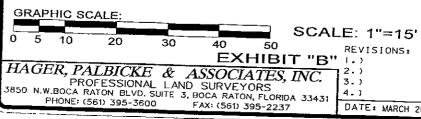
2.)

4.)





PHASE 29 - BUILDING ROOF PLAN:



DATE: MARCH 2001 SHEET 6 OF 6 SHEETS