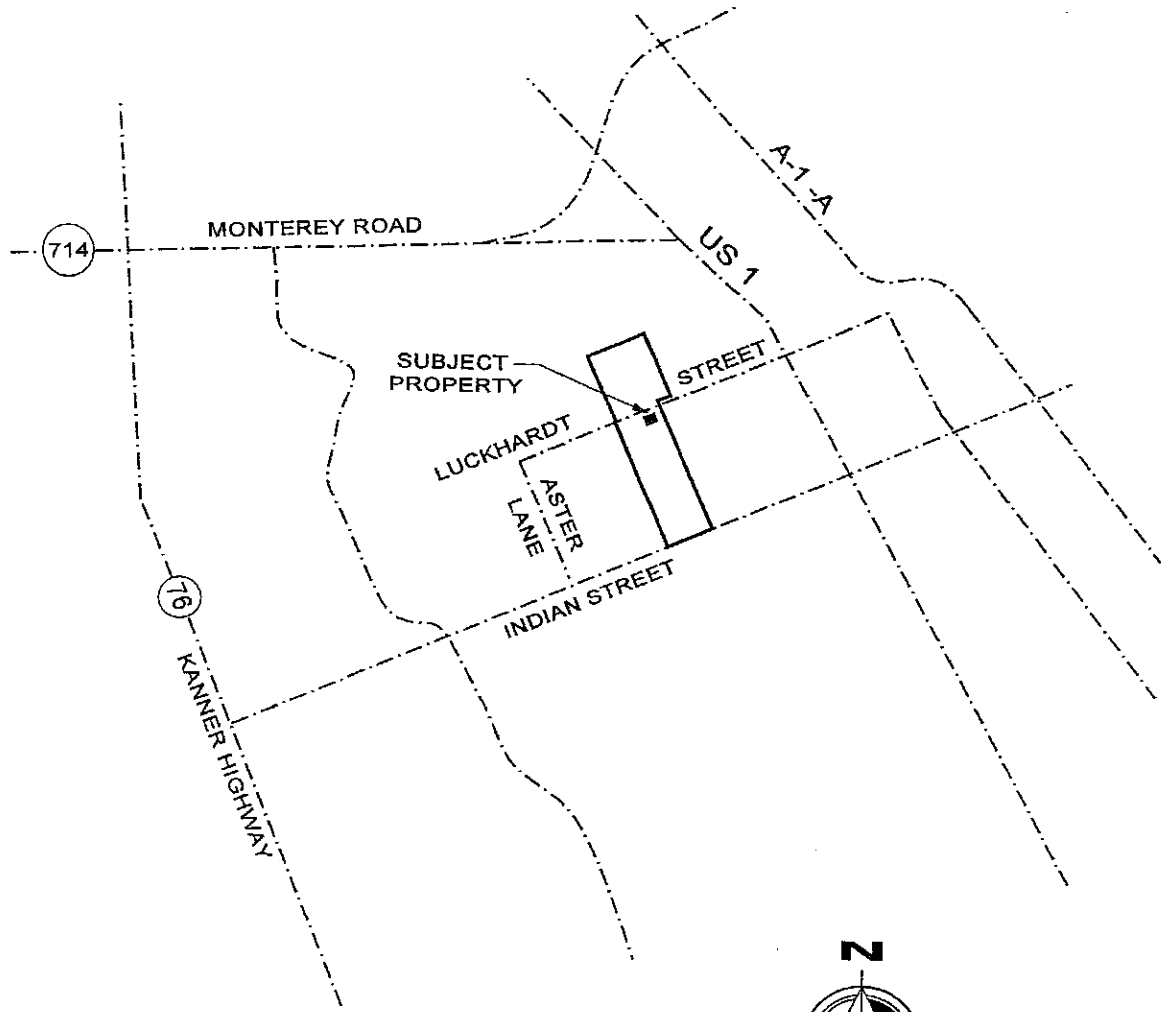
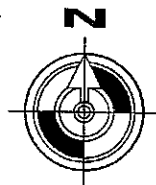


LEXINGTON LAKES, A CONDOMINIUM PHASE 20



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 20

LEGAL DESCRIPTION:

A portion of Lot 30, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the East Line of Lots 55 and 30; thence N.23°12'47"W., along said East Line, a distance of 1621.46 feet; thence S.66°47'13"W., a distance of 114.12 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 113.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A






ABBREVIATIONS:






A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.D.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.D.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or  CENTERLINE
 B/L or  BASELINE
 ELEVATION, AS-BUILT
 ELEVATION, PROPOSED
 FLOW ARROW

 EDGE OF WATER
 MANHOLE, SANITARY SEWER
 MANHOLE, STORM DRAINAGE
 CATCH BASIN
 FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

PHASE 20 - LEGAL DESCRIPTION

EXHIBIT "B"

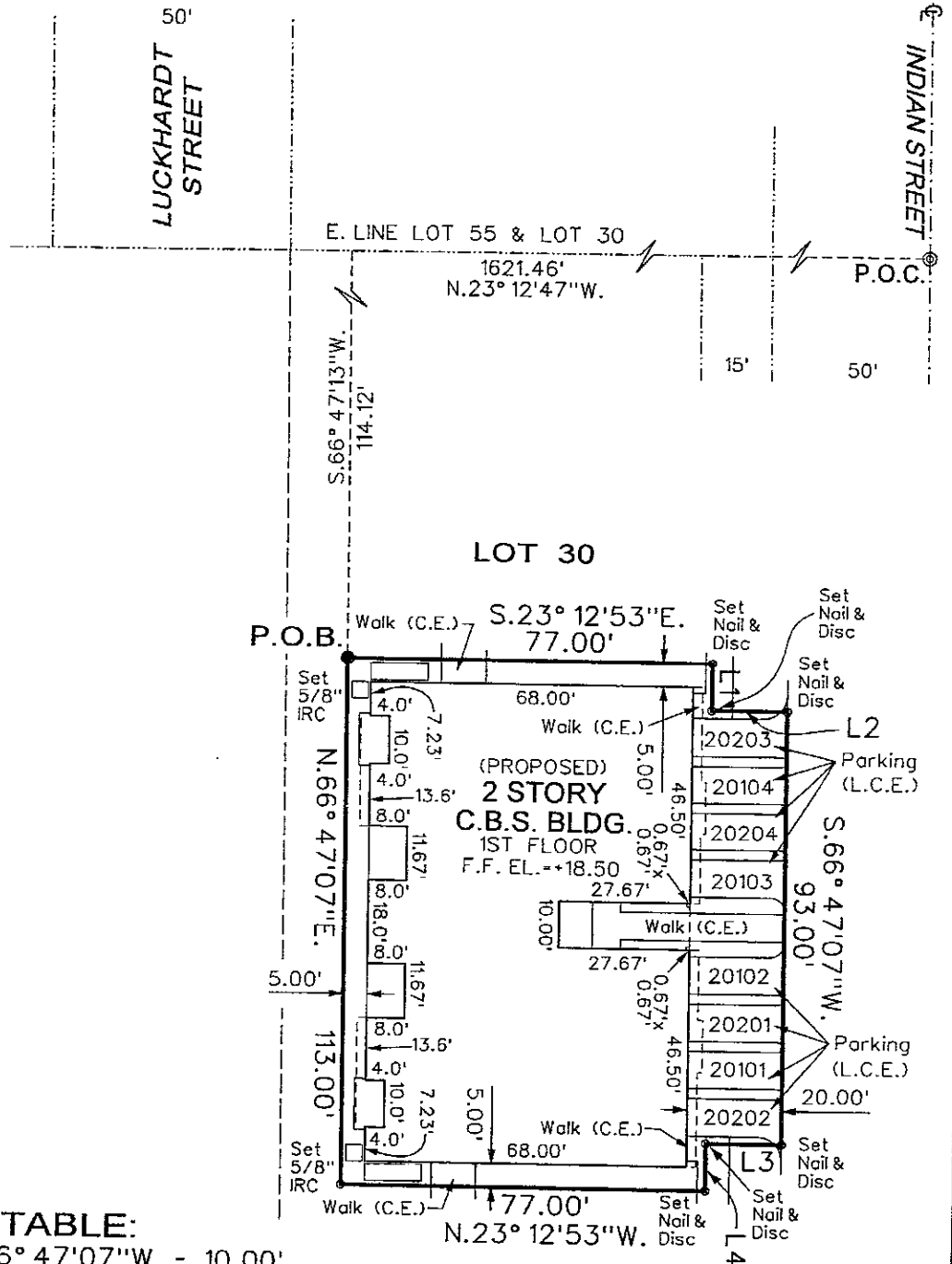
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

1.)
2.)
3.)
4.)

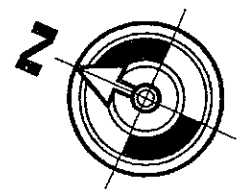
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 20



LINE TABLE:

L1	S.66° 47' 07" W.	- 10.00'
L2	S.23° 12' 53" E.	- 16.00'
L3	N.23° 12' 53" W.	- 16.00'
L4	S.66° 47' 07" W.	- 10.00'



PHASE 20 - SITE PLAN (PROPOSED)

GRAPHIC SCALE:



SCALE: 1"=30'

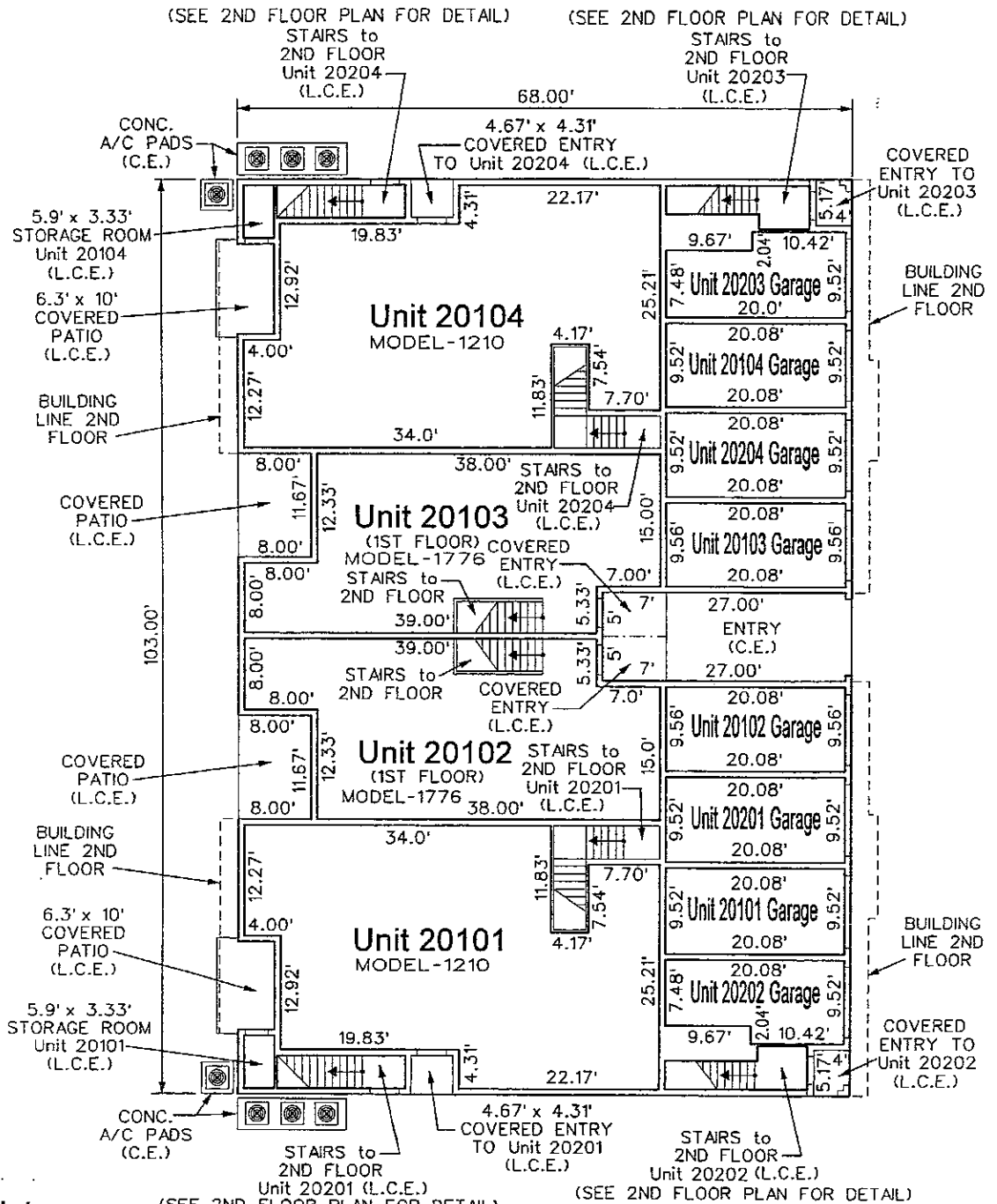
EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
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 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 3 OF 6 SHEETS

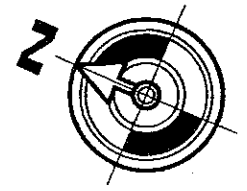
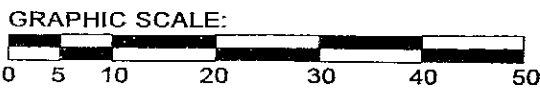
LEXINGTON LAKES, A CONDOMINIUM PHASE 20



Note: (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

**PHASE 20 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT):	+27.83	(GARAGE):	+27.83
LOWER LIMITS (UNIT):	+18.50	(GARAGE):	+17.90



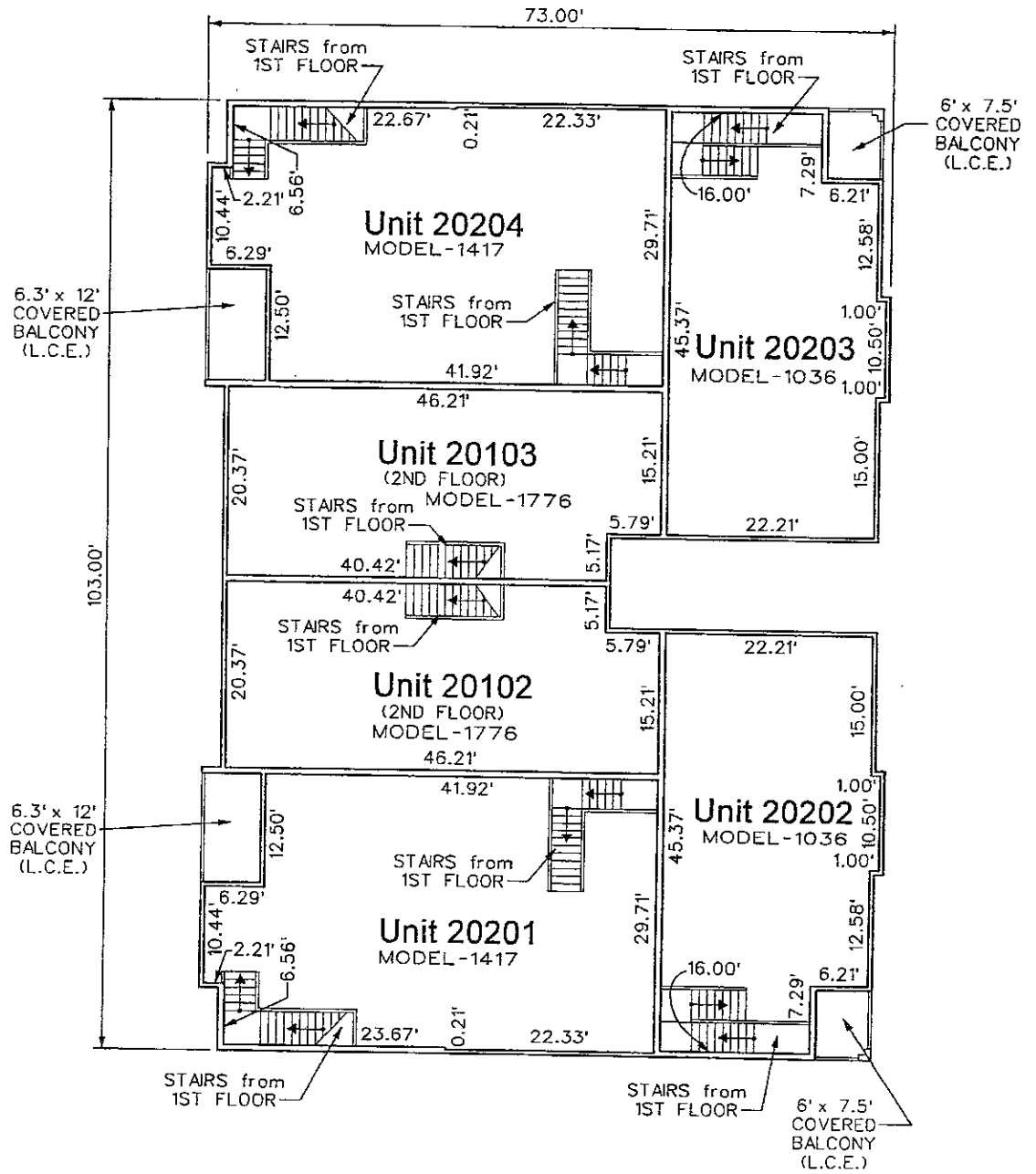
SCALE: 1"=15' **EXHIBIT "B"**

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:
 1.)
 2.)
 3.)
 4.)

DATE: APRIL 2004 SHEET 4 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 20



**PHASE 20 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

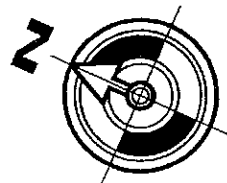
EXHIBIT "B"

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 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
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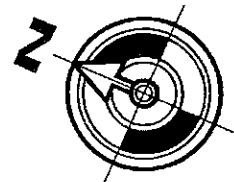
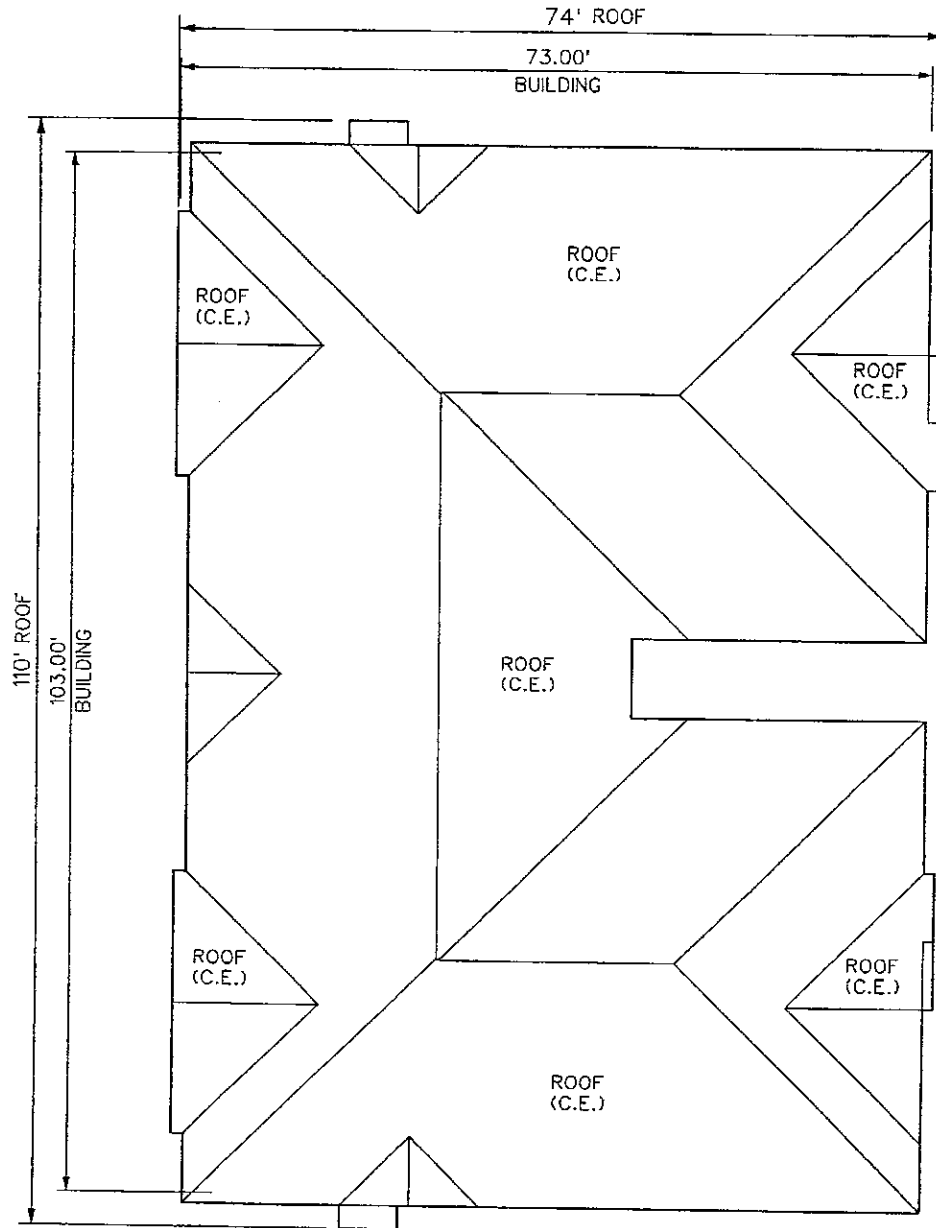
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

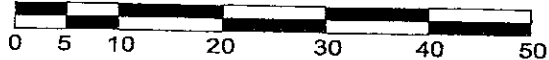


LEXINGTON LAKES, A CONDOMINIUM PHASE 20



**PHASE 20 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

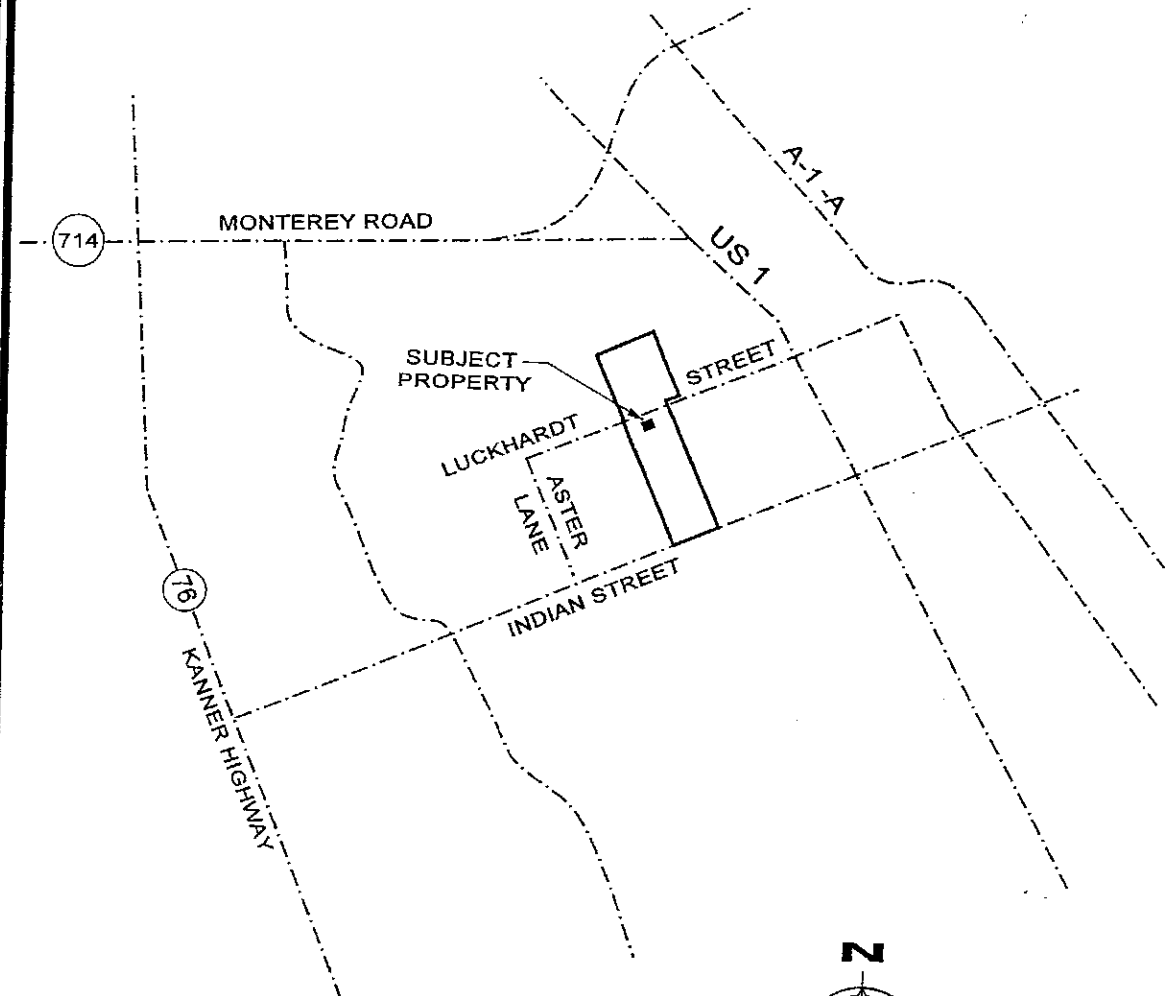
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REVISIONS:

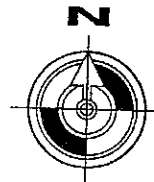
- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 21



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 21

LEGAL DESCRIPTION:

A portion of Lots 30 and 31, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 1495.51 feet; thence N.66°47'06"E., a distance of 209.82 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'53"W., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence N.23°12'53"W., a distance of 77.00 feet; thence N.66°47'07"E., a distance of 113.00 feet; thence S.23°12'53"E., a distance of 77.00 feet; thence S.66°47'07"W., a distance of 10.00 feet; thence S.23°12'53"E., a distance of 16.00 feet; thence S.66°47'07"W., a distance of 93.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.-S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.D.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.D.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;
	ELEVATION, PROPOSED		CATCH BASIN	ELEVATION= +16.33 (N.G.V.D.)
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 21 - LEGAL DESCRIPTION

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

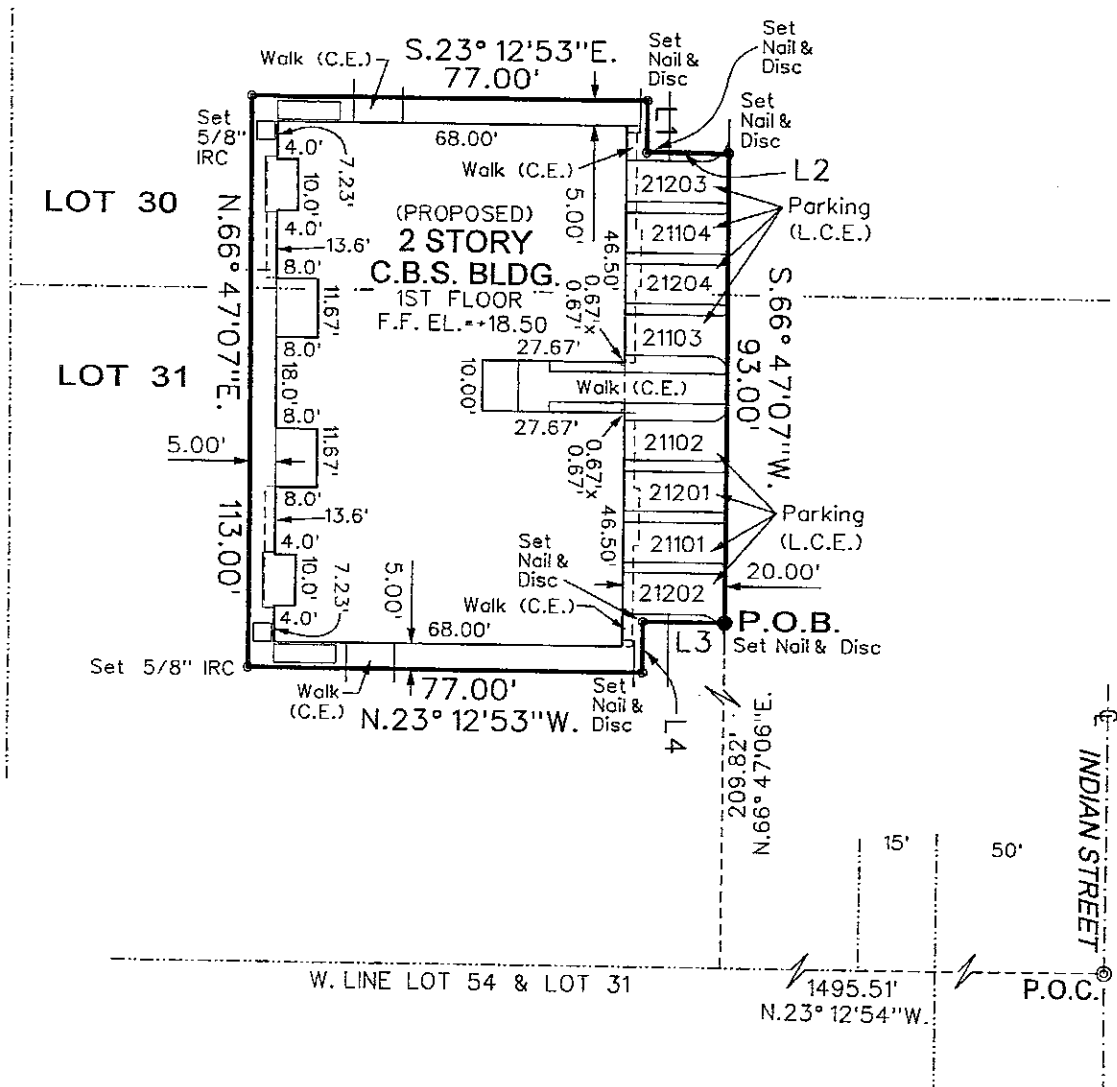
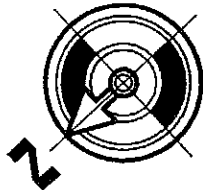
- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 21

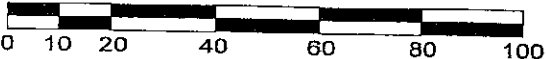
LINE TABLE:

- L1 S.66° 47'07"W. - 10.00'
- L2 S.23° 12'53"E. - 16.00'
- L3 N.23° 12'53"W. - 16.00'
- L4 S.66° 47'07"W. - 10.00'



PHASE 21 - SITE PLAN (PROPOSED)

GRAPHIC SCALE:



SCALE: 1"=30'

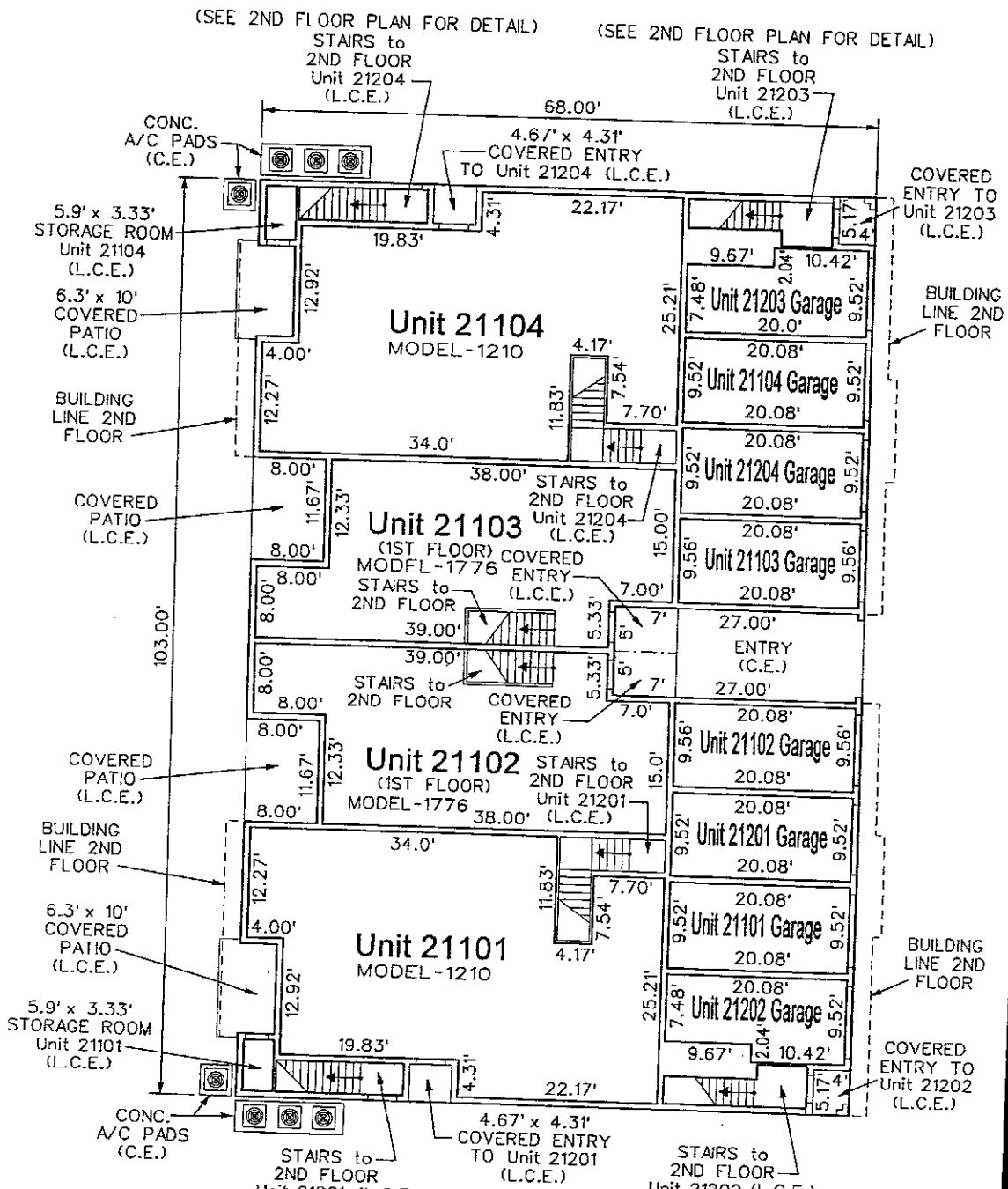
EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

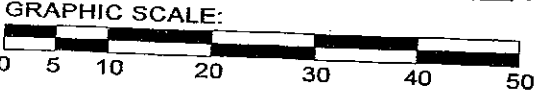
LEXINGTON LAKES, A CONDOMINIUM PHASE 21



Note: (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

**PHASE 21 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90



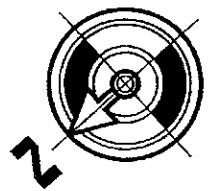
SCALE: 1"=15'

EXHIBIT "B"

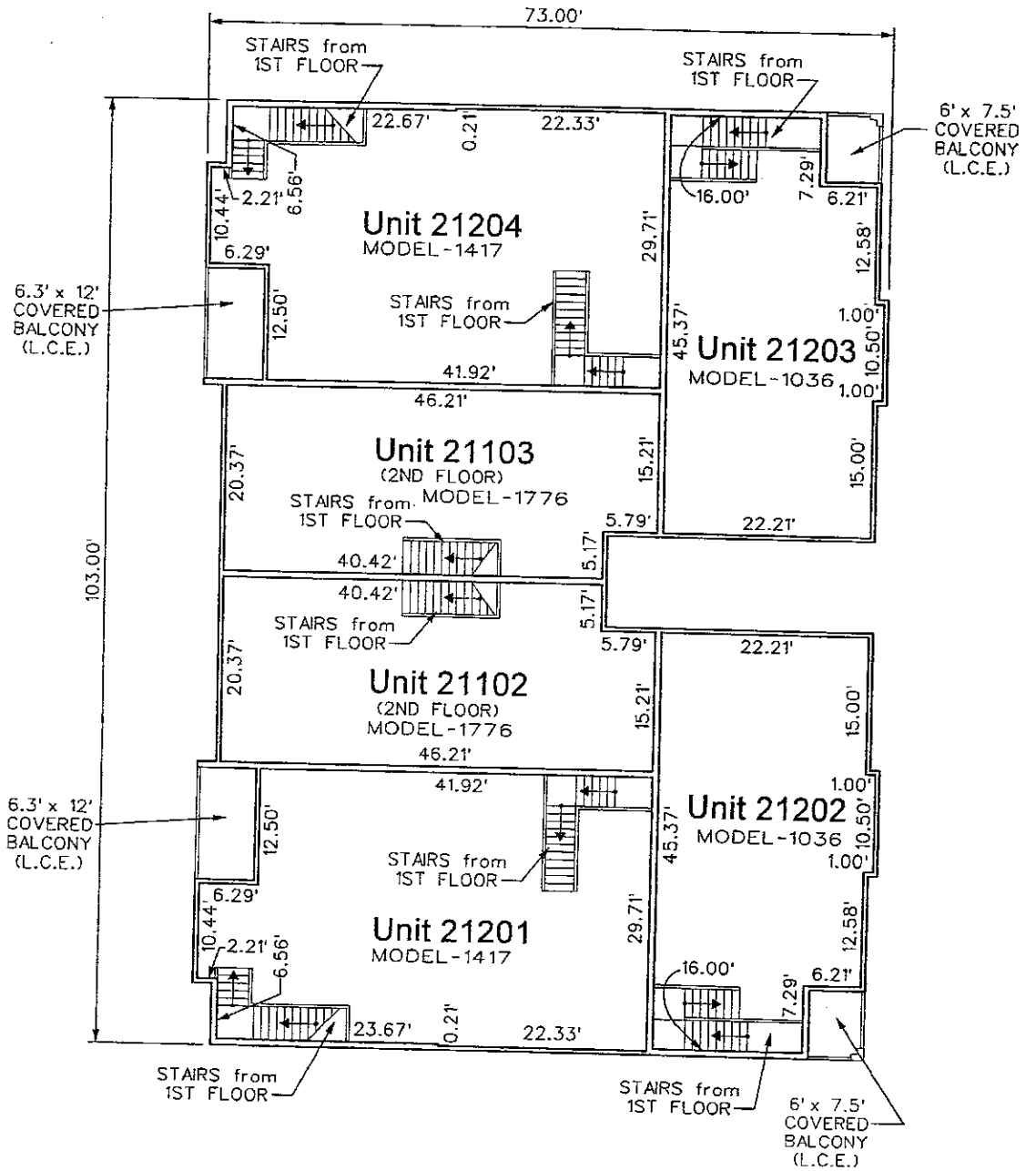
- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
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 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 4 OF 6 SHEETS



LEXINGTON LAKES, A CONDOMINIUM PHASE 21



**PHASE 21 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

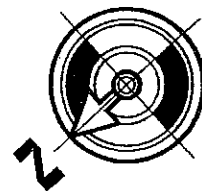
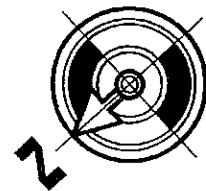
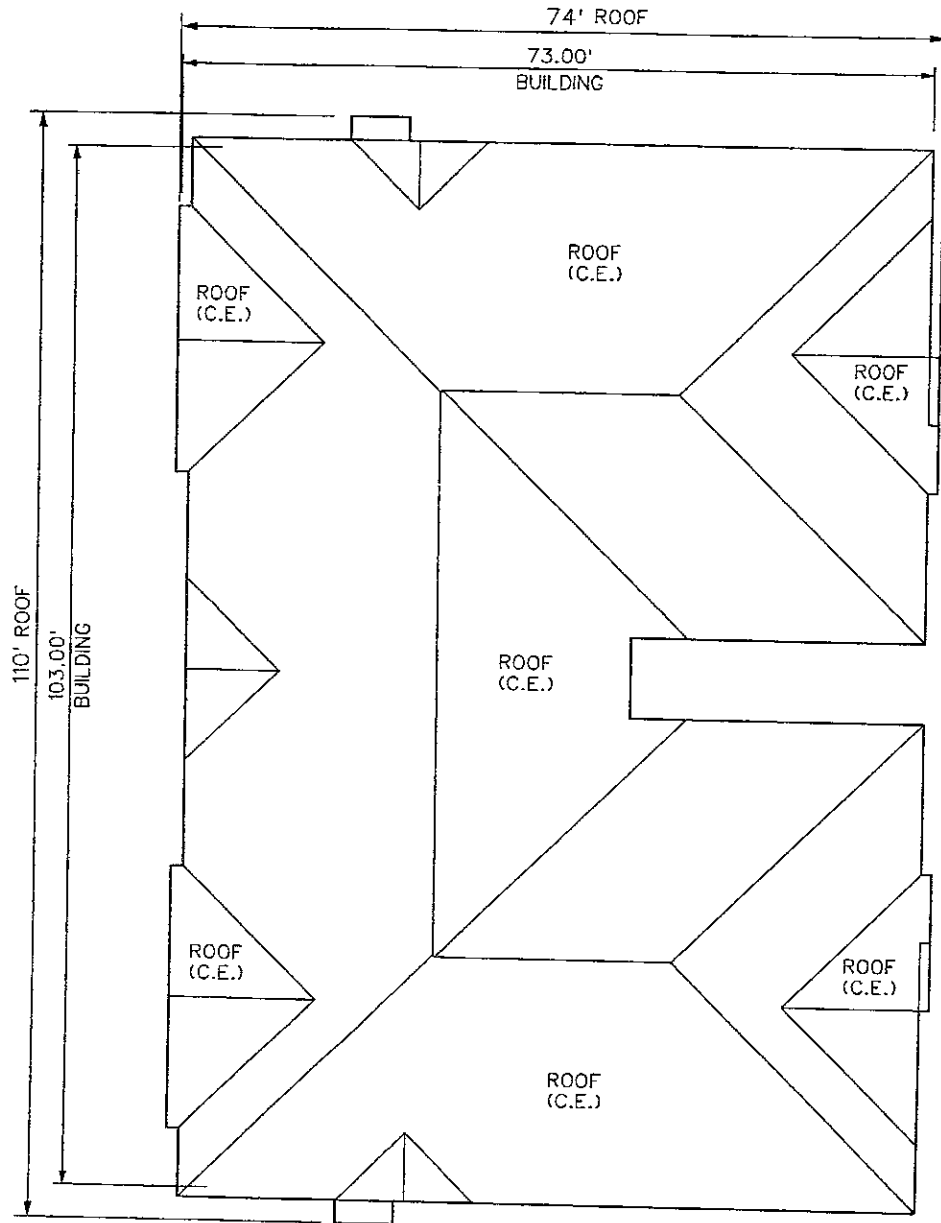


EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 21



**PHASE 21 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

REVISIONS:

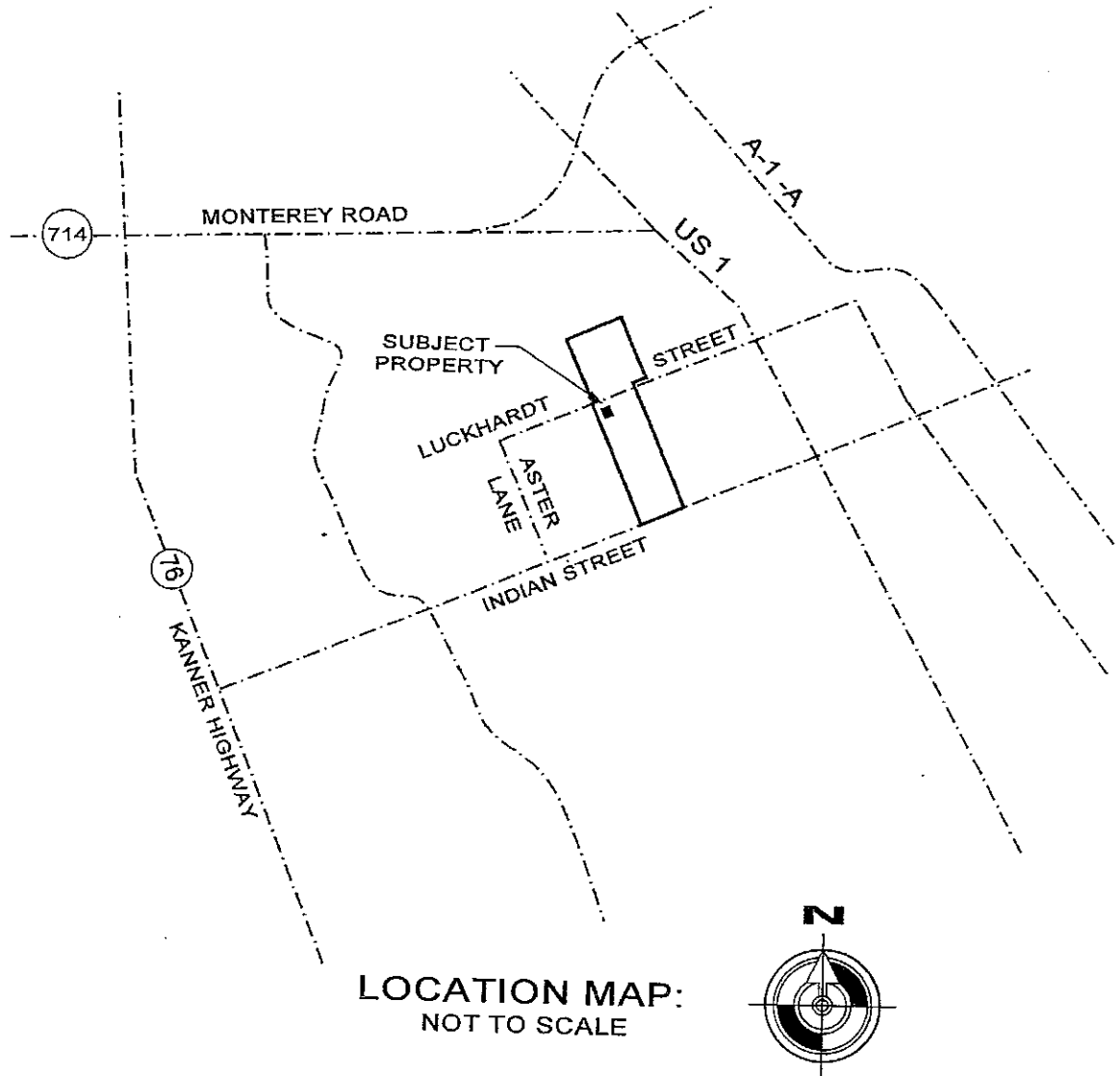
- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 22



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 22

LEGAL DESCRIPTION:

A portion of Lot 31, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the centerline of INDIAN STREET, with the Southerly extension of the West Line of Lots 54 and 31; thence N.23°12'54"W., along said West Line, a distance of 1521.17 feet; thence N.66°47'06"E., a distance of 77.46 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°12'09"W., a distance of 93.00 feet; thence N.66°47'51"E., a distance of 16.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence N.66°47'51"E., a distance of 77.00 feet; thence S.23°12'09"E., a distance of 113.00 feet; thence S.66°47'51"W., a distance of 77.00 feet; thence N.23°12'09"W., a distance of 10.00 feet; thence S.66°47'51"W., a distance of 16.00 feet to the POINT of BEGINNING.

Said lands contain 0.234 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.-S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.D.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND": A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	
	ELEVATION, PROPOSED		CATCH BASIN	
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 22 - LEGAL DESCRIPTION

EXHIBIT "B"

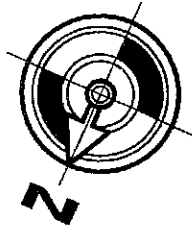
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

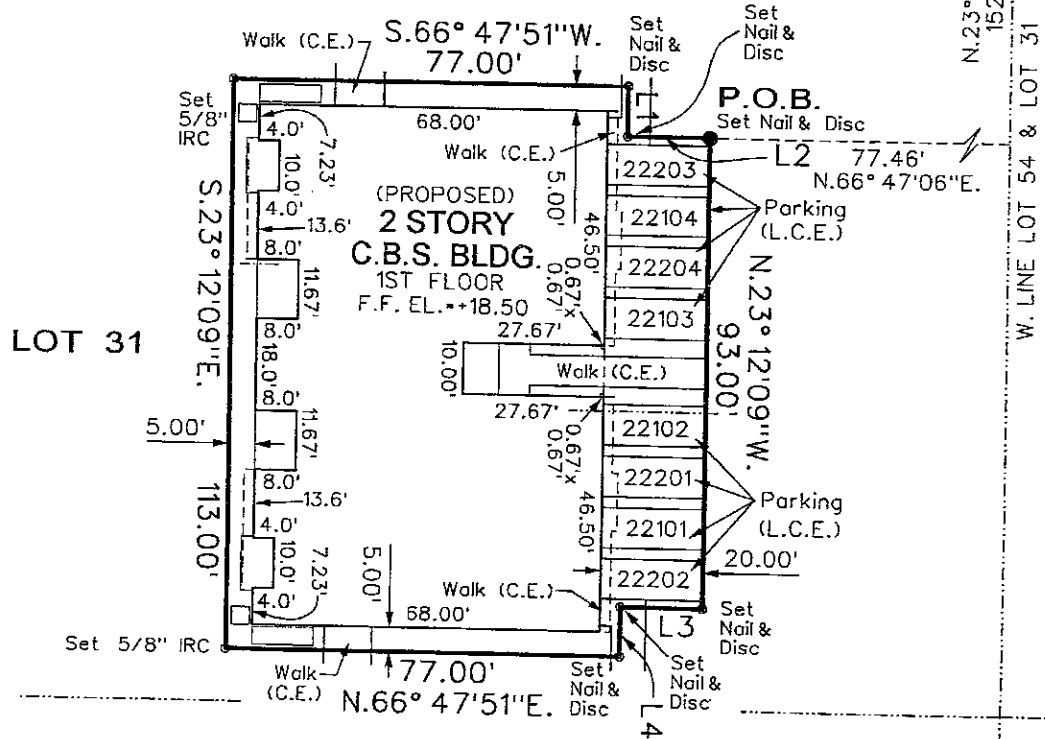
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 22



P.O.C.
INDIAN STREET

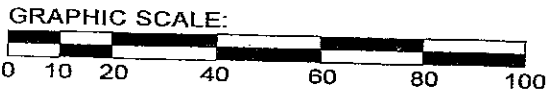


LINE TABLE:

L1	N.23° 12'09"W.	- 10.00'
L2	S.66° 47'51"W.	- 16.00'
L3	N.66° 47'51"E.	- 16.00'
L4	N.23° 12'09"W.	- 10.00'

**LUCKHARDT
STREET**

PHASE 22 - SITE PLAN (PROPOSED)



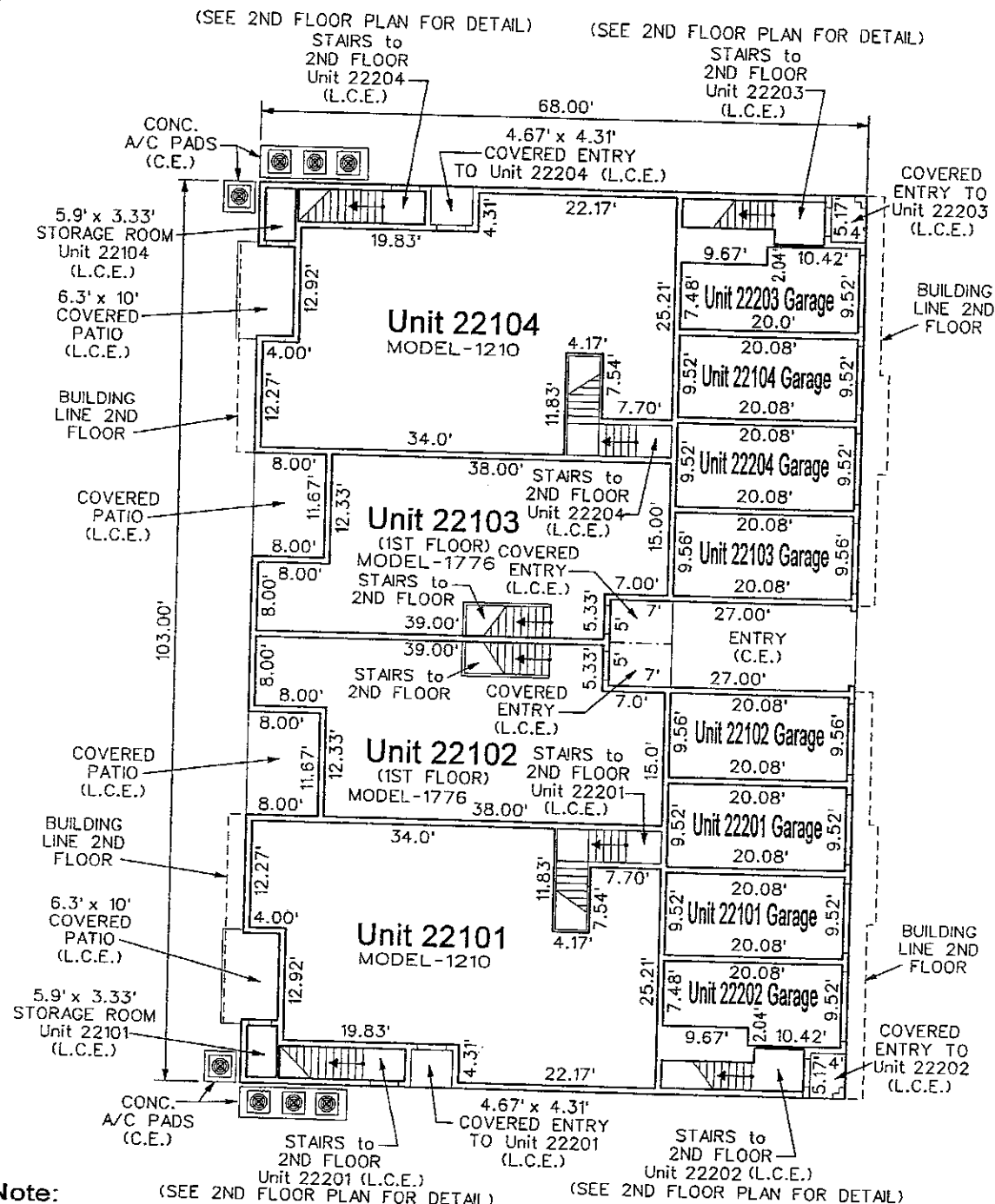
SCALE: 1"=30'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
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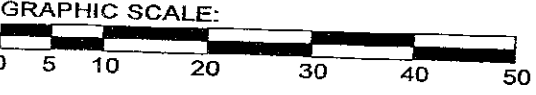
LEXINGTON LAKES, A CONDOMINIUM PHASE 22



Note: (SEE 2ND FLOOR PLAN FOR DETAIL) (SEE 2ND FLOOR PLAN FOR DETAIL)
 CONC. A/C PADS ARE COMMON ELEMENTS (C.E.) - INDIVIDUAL A/C UNITS ARE LIMITED COMMON ELEMENTS REFER TO DECLARATION FOR DETAILS.

**PHASE 22 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +27.83 (GARAGE): +27.83
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90



SCALE: 1"=15'

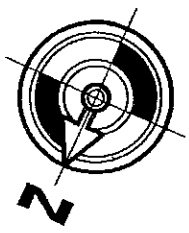
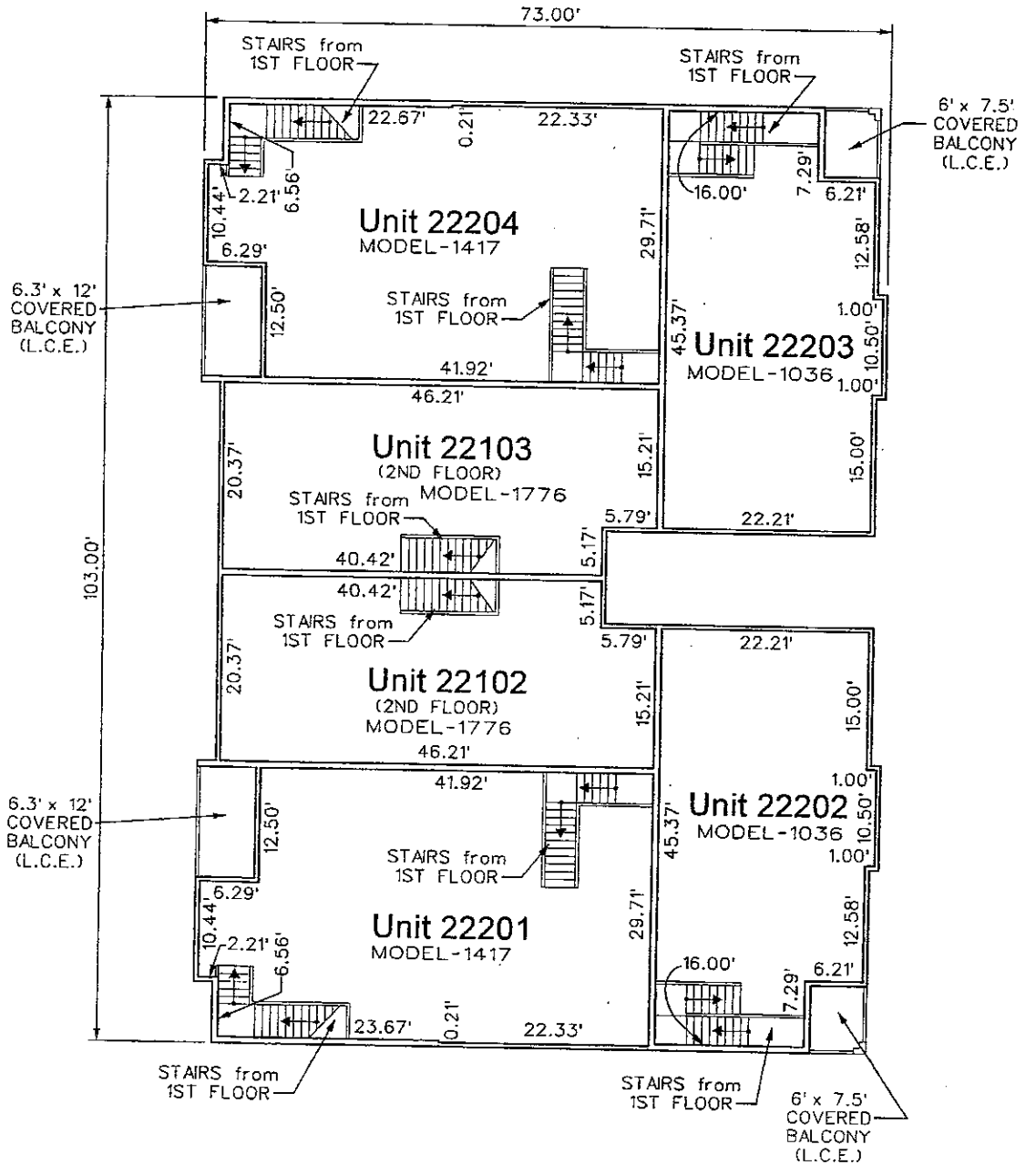


EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:
 1.)
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 3.)
 4.)

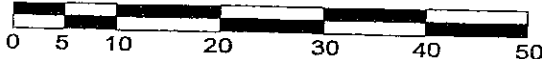
LEXINGTON LAKES, A CONDOMINIUM PHASE 22



**PHASE 22 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +38.75
 LOWER LIMITS (UNIT): +29.42

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

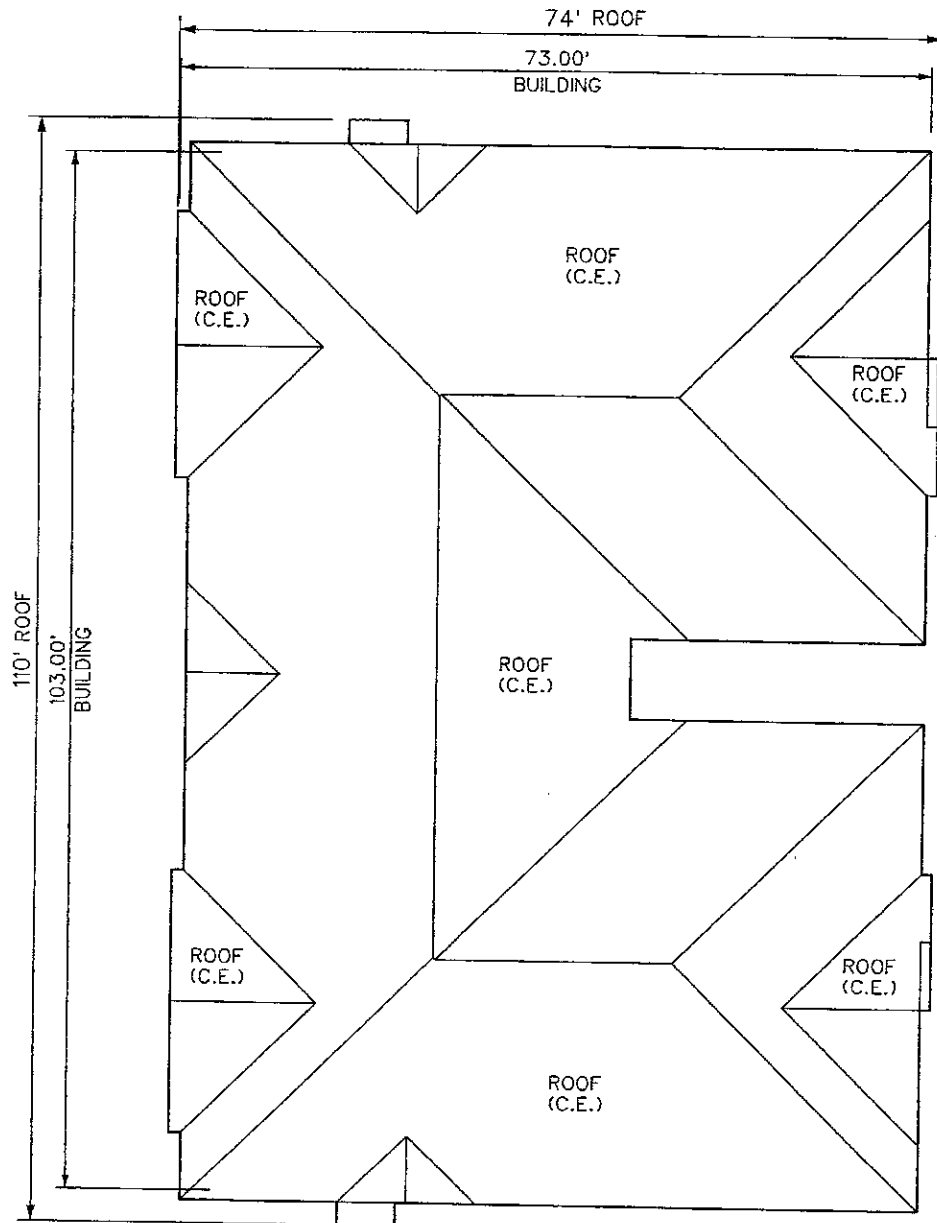
- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 5 OF 6 SHEETS

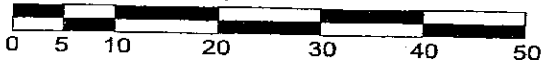


LEXINGTON LAKES, A CONDOMINIUM PHASE 22



**PHASE 22 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

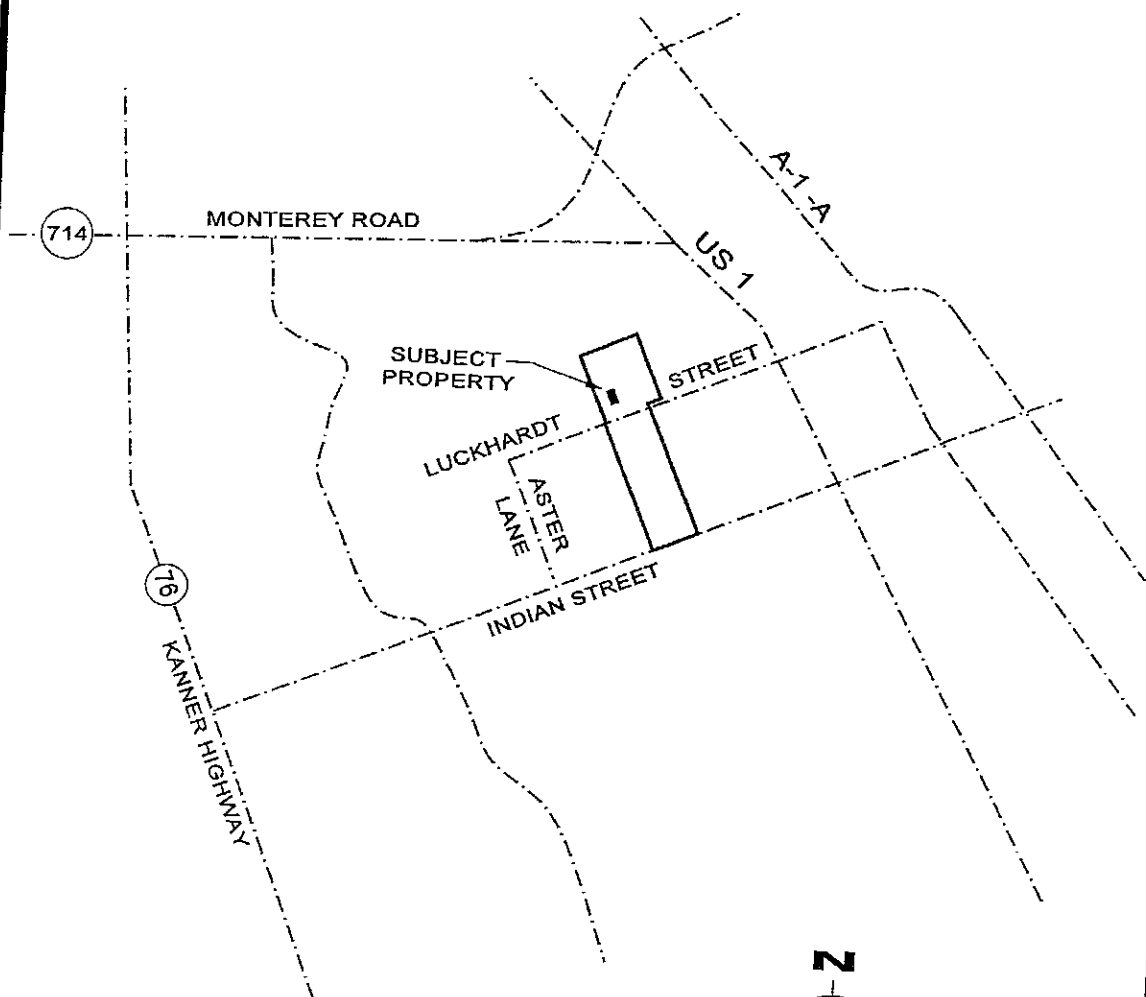
EXHIBIT "B"

- REVISIONS:
1.)
 2.)
 3.)
 4.)

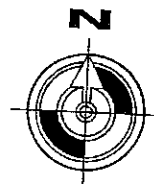
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 | SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 23



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
STATE OF FLORIDA

NOT VALID UNLESS
EMBOSSSED WITH
RAISED SEAL OF
ATTESTING REGISTERED
LAND SURVEYOR

EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 23

LEGAL DESCRIPTION:

A portion of Lot 13, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 35.26 feet; thence N.66°47'03"E., a distance of 75.66 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.23°13'35"W., a distance of 130.67 feet; thence N.66°46'25"E., a distance of 80.00 feet; thence S.23°13'35"E., a distance of 130.67 feet; thence S.66°46'25"W., a distance of 80.00 feet to the POINT of BEGINNING.

Said lands contain 0.240 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A






ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH.	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or @	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)
B/L or @	BASELINE	(S)	MANHOLE, SANITARY SEWER	
	ELEVATION, AS-BUILT	(D)	MANHOLE, STORM DRAINAGE	
	ELEVATION, PROPOSED		CATCH BASIN	
	FLOW ARROW	(FH)	FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

PHASE 23 - LEGAL DESCRIPTION

EXHIBIT "B"

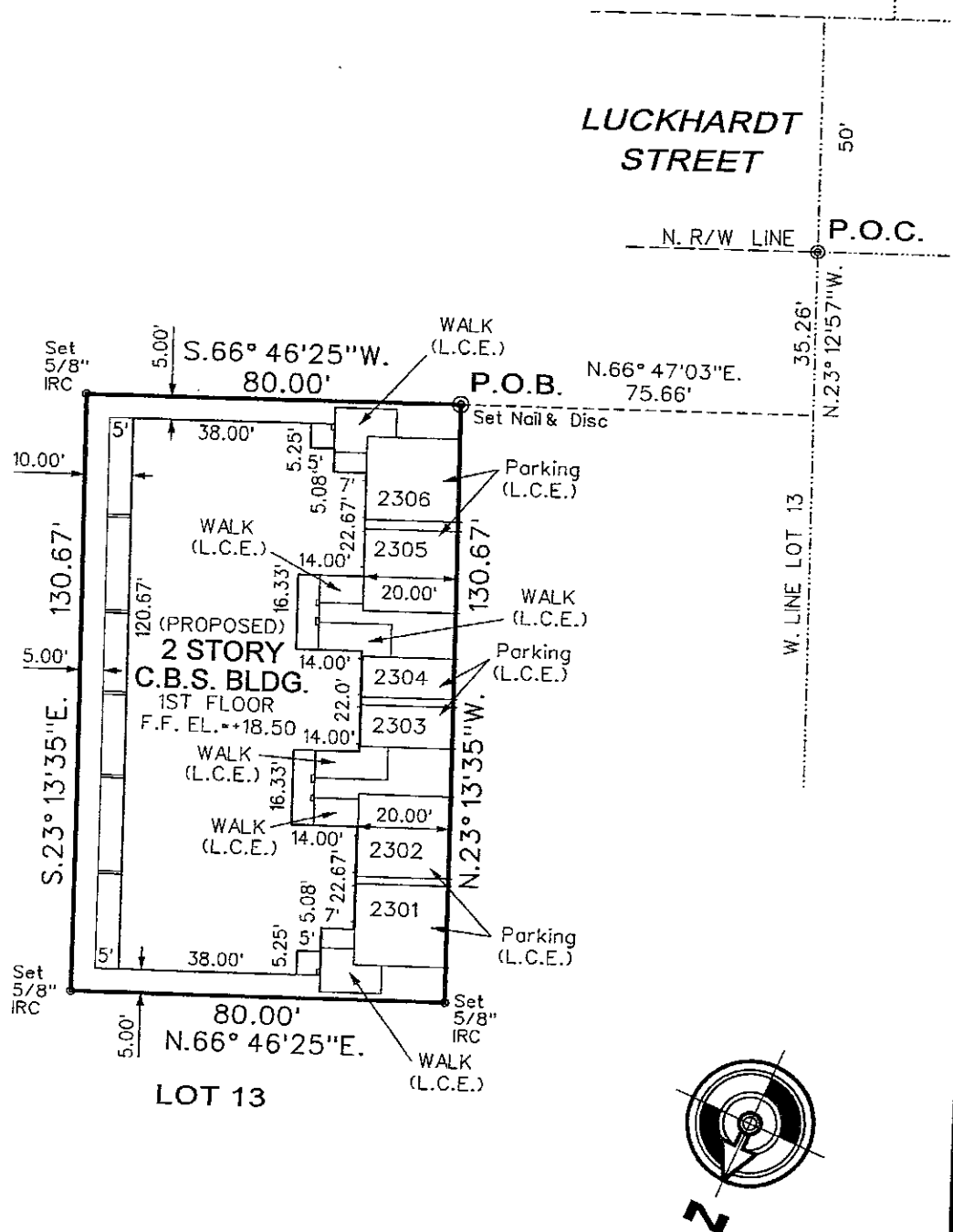
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD., SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

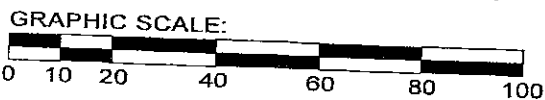
- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 23



PHASE 23 - SITE PLAN (PROPOSED)



SCALE: 1"=30'

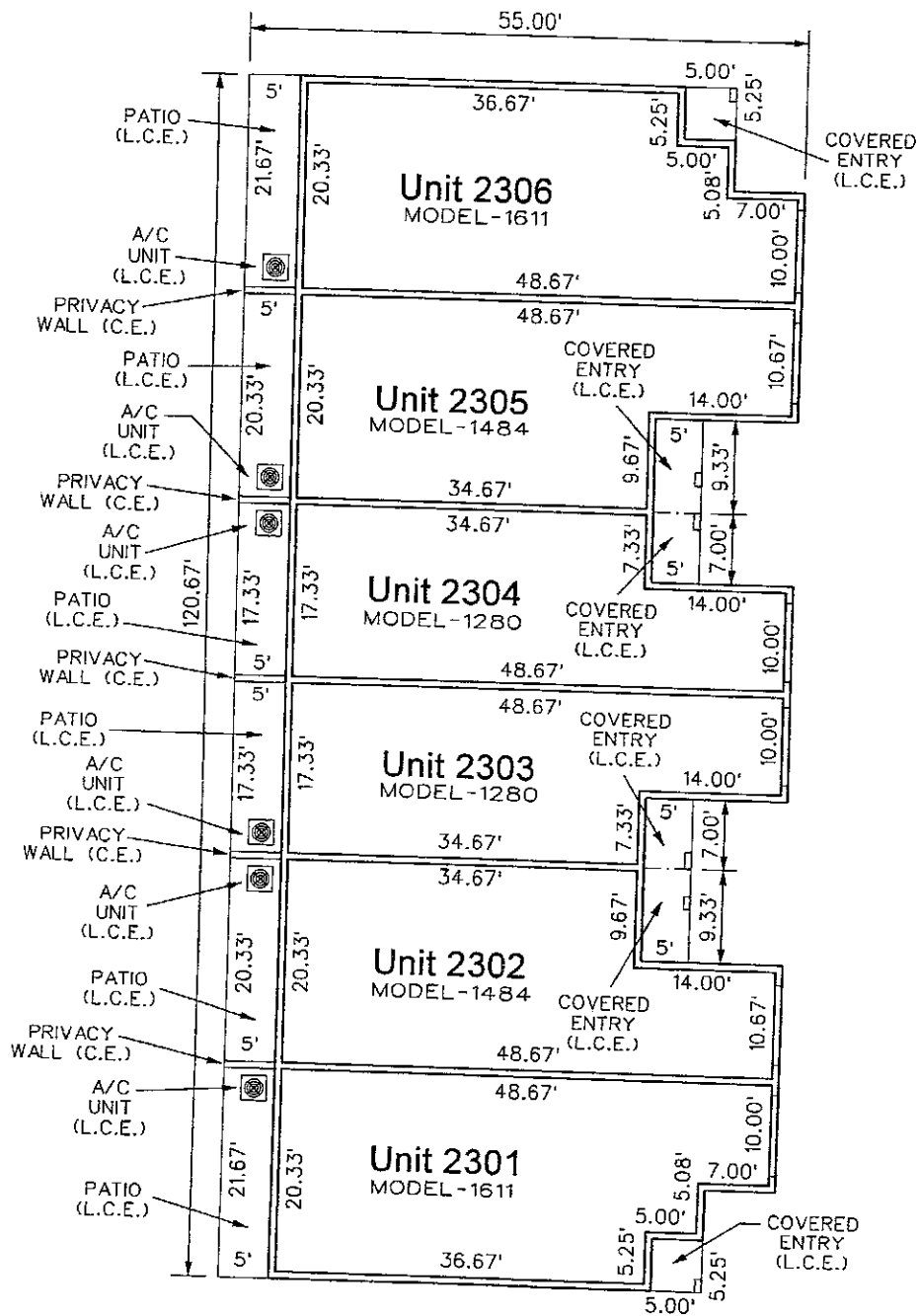
EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 3 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 23



SCALE: 1"=15'

PHASE 23 - BUILDING
1ST FLOOR PLAN:

UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50
LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

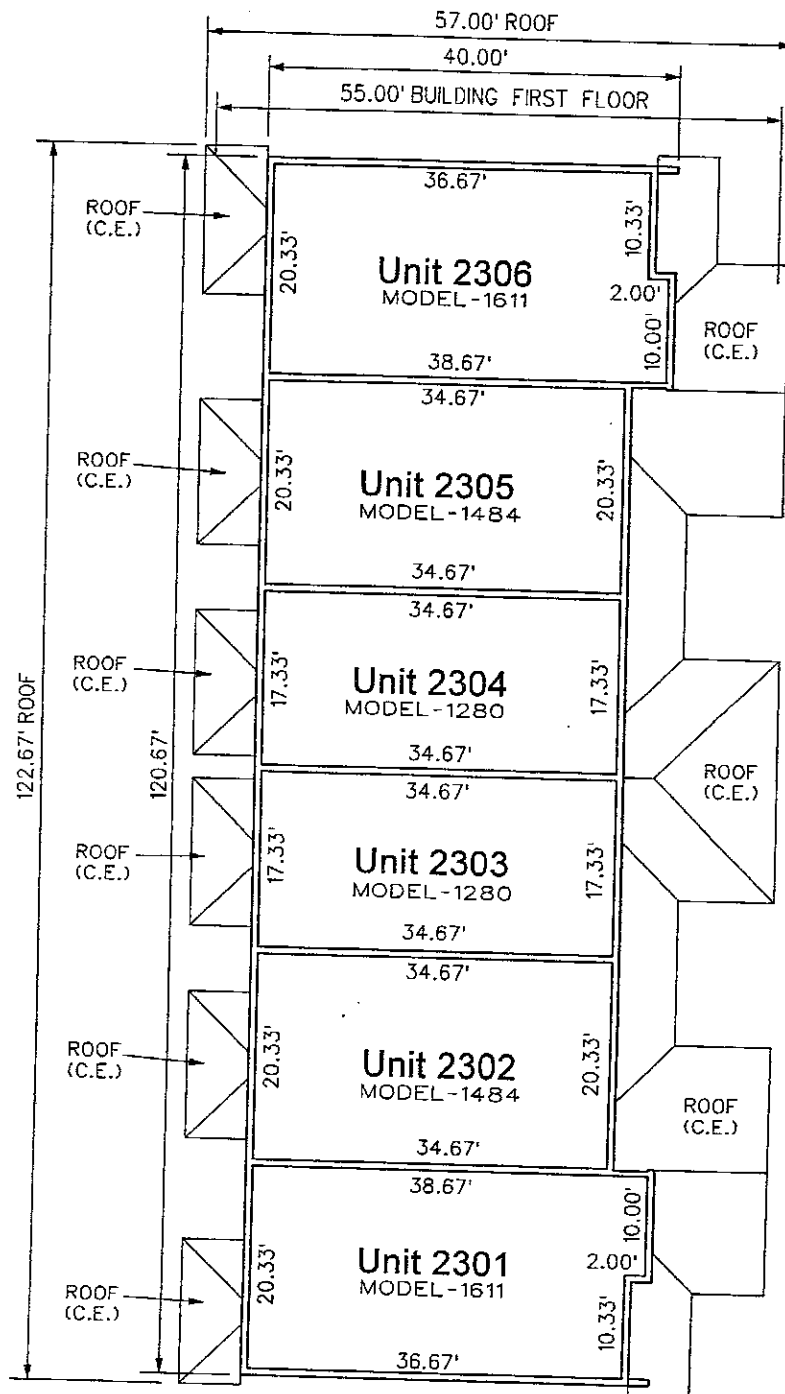
EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
1.)
2.)
3.)
4.)



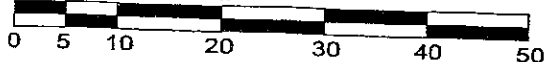
LEXINGTON LAKES, A CONDOMINIUM PHASE 23



**PHASE 23 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +35.98
LOWER LIMITS (UNIT): +27.98

GRAPHIC SCALE:



SCALE: 1"=15'

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

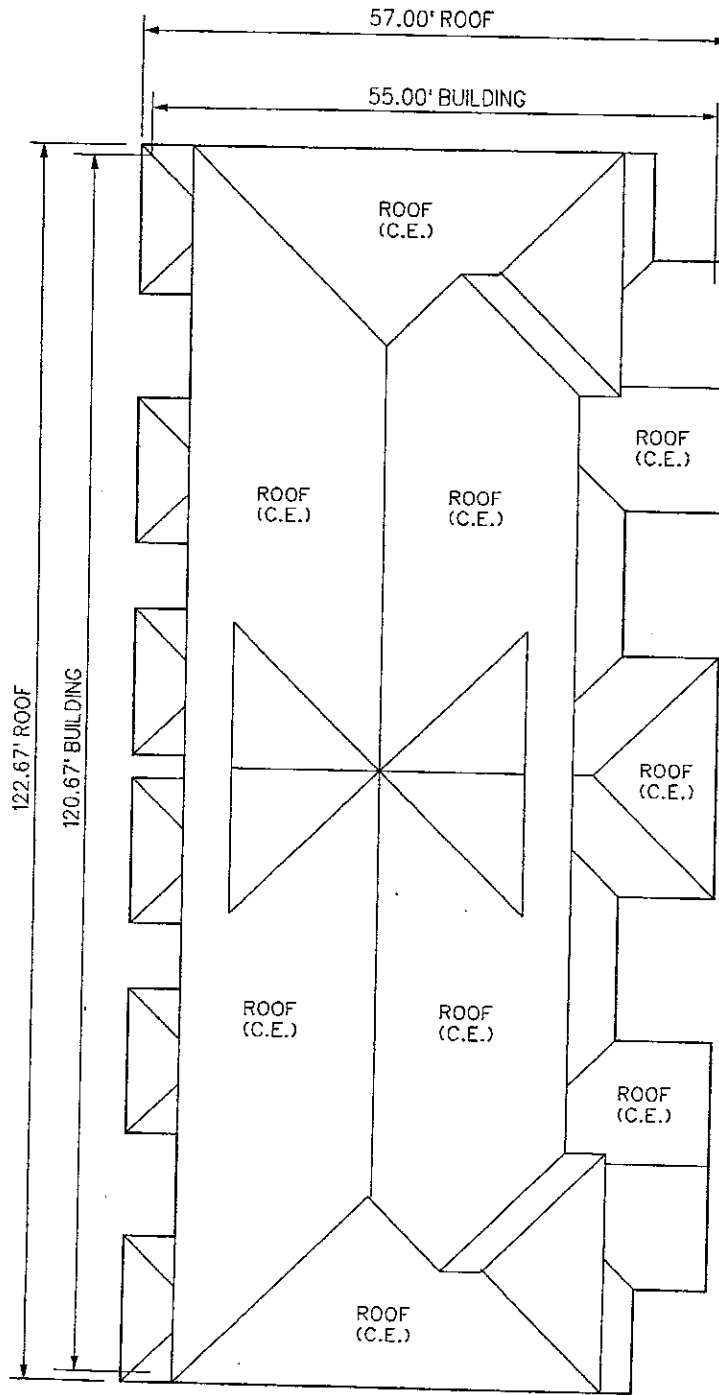
EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 5 OF 6 SHEETS



LEXINGTON LAKES, A CONDOMINIUM PHASE 23



**PHASE 23 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

REVISIONS:

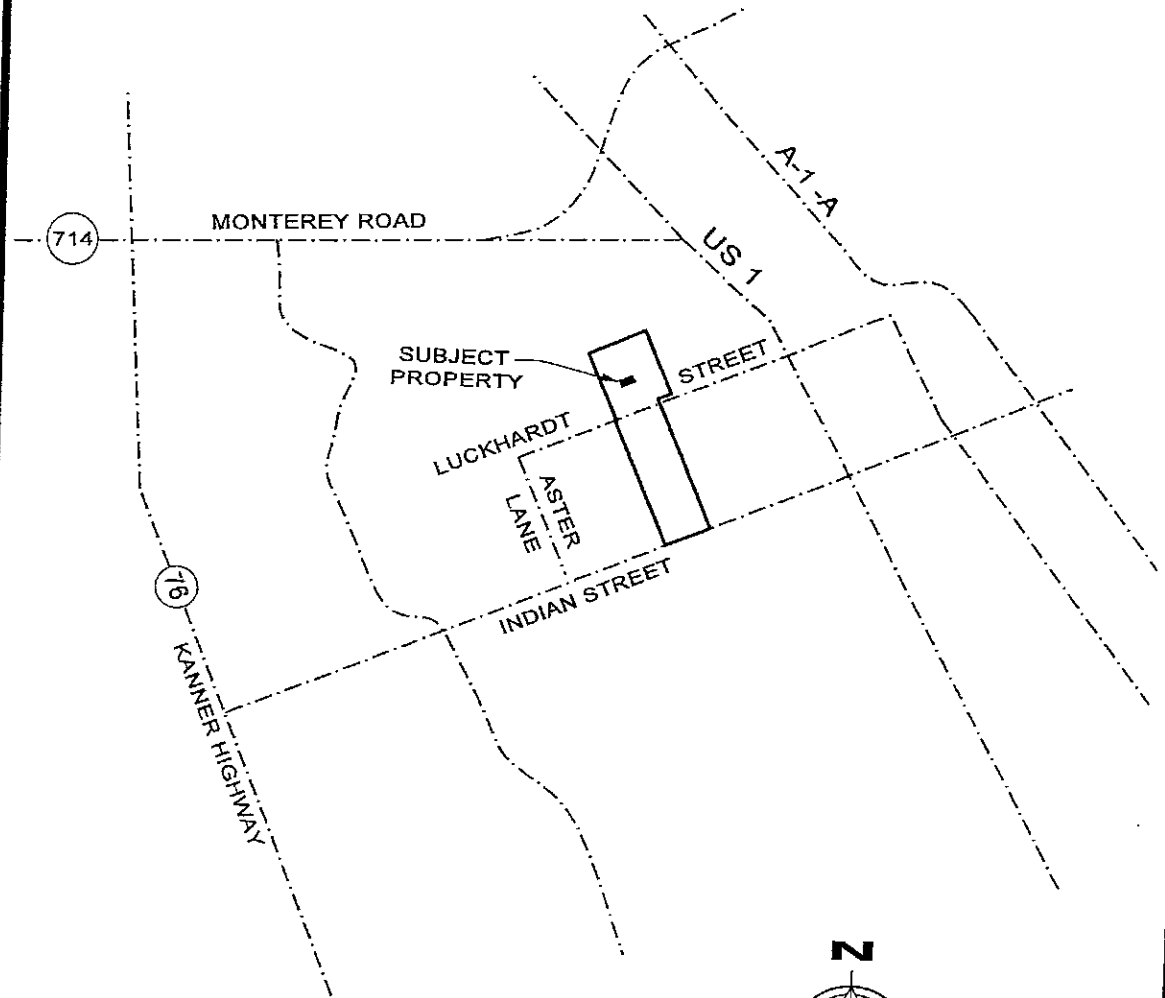
EXHIBIT "B"

- 1.)
- 2.)
- 3.)
- 4.)

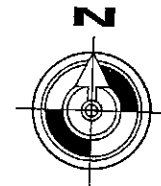
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 24



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY:

THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
STATE OF FLORIDA

DATE: APRIL 2004

NOT VALID UNLESS
EMBOSSSED WITH
RAISED SEAL OF
ATTESTING REGISTERED
LAND SURVEYOR

EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 24

LEGAL DESCRIPTION:

A portion of Lots 13 and 14, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 229.93 feet; thence N.66°47'03"E., a distance of 170.67 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'53"E., a distance of 166.67 feet; thence S.23°12'07"E., a distance of 80.00 feet; thence S.66°47'53"W., a distance of 166.67 feet; thence N.23°12'07"W., a distance of 80.00 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A






ABBREVIATIONS:






A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C-E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C-B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE, IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISK WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or  CENTERLINE
 B/L or  BASELINE
 ELEVATION, AS-BUILT
 ELEVATION, PROPOSED
 FLOW ARROW

 EDGE OF WATER
 MANHOLE, SANITARY SEWER
 MANHOLE, STORM DRAINAGE
 CATCH BASIN
 FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 24 - LEGAL DESCRIPTION

EXHIBIT "B"

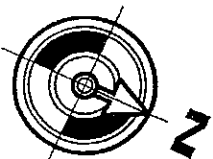
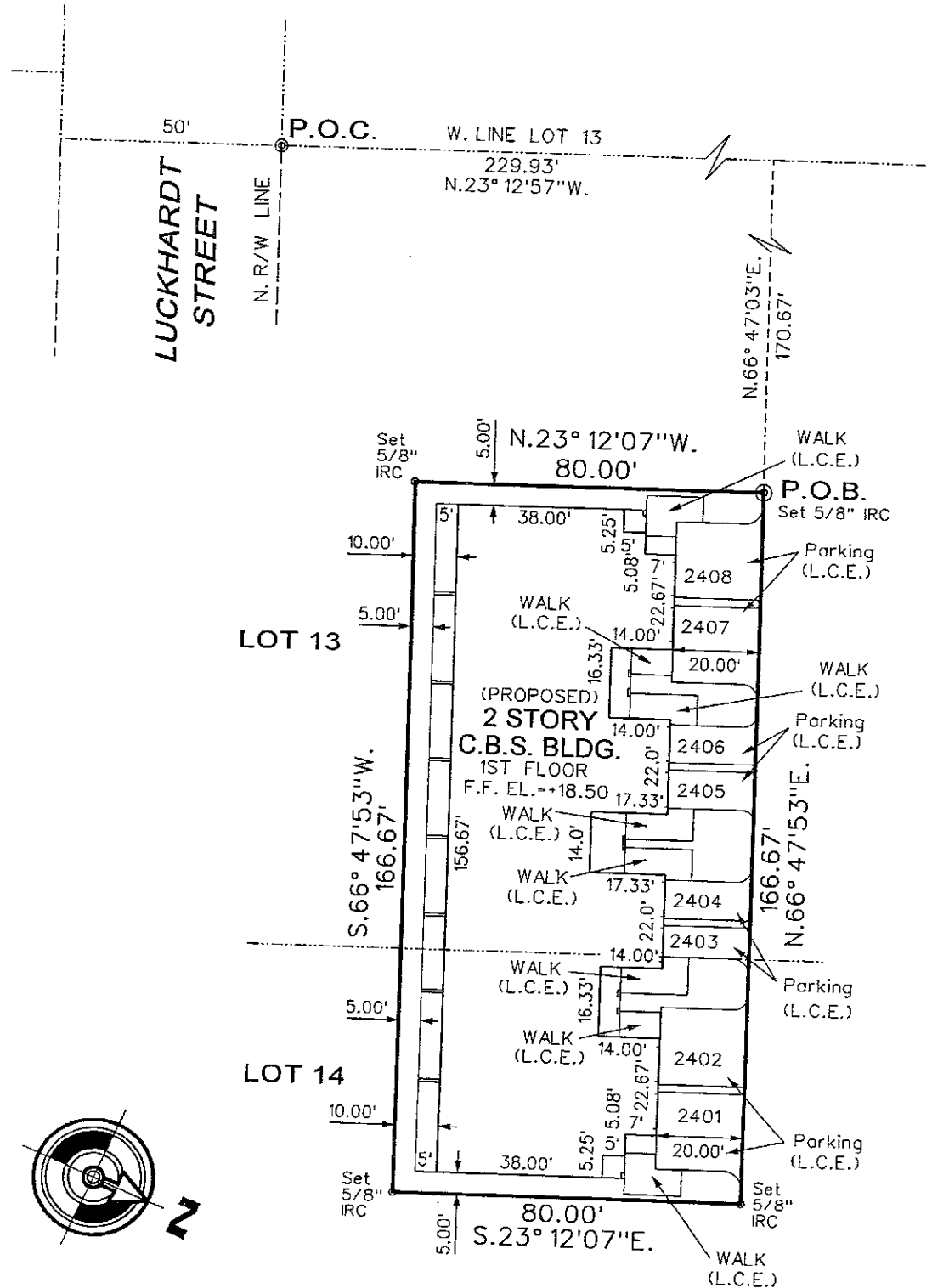
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

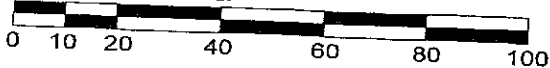
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 24



PHASE 24 - SITE PLAN (PROPOSED)

GRAPHIC SCALE:



SCALE: 1"=30'

EXHIBIT "B"

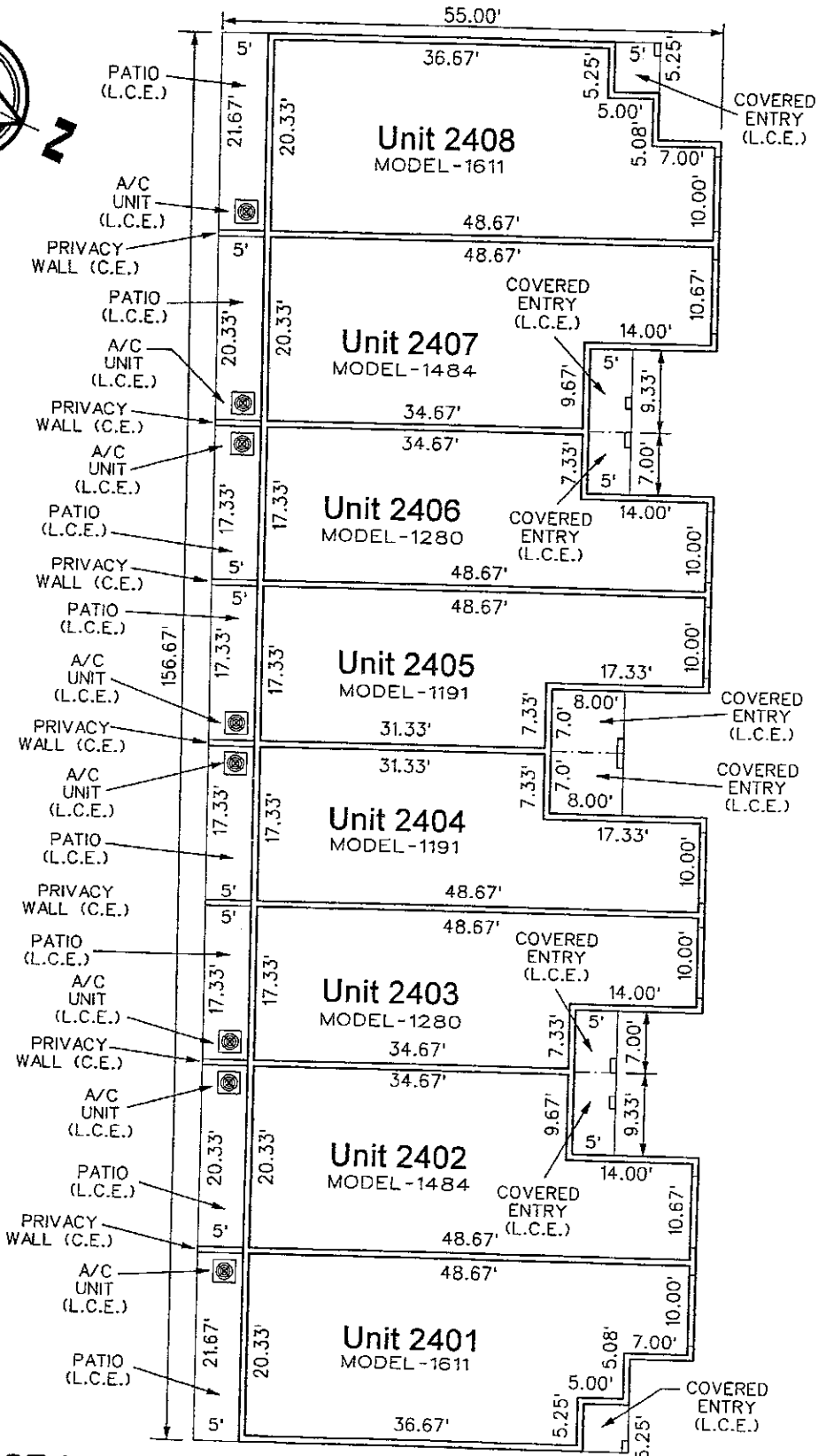
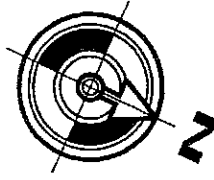
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 3 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 24



**PHASE 24 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

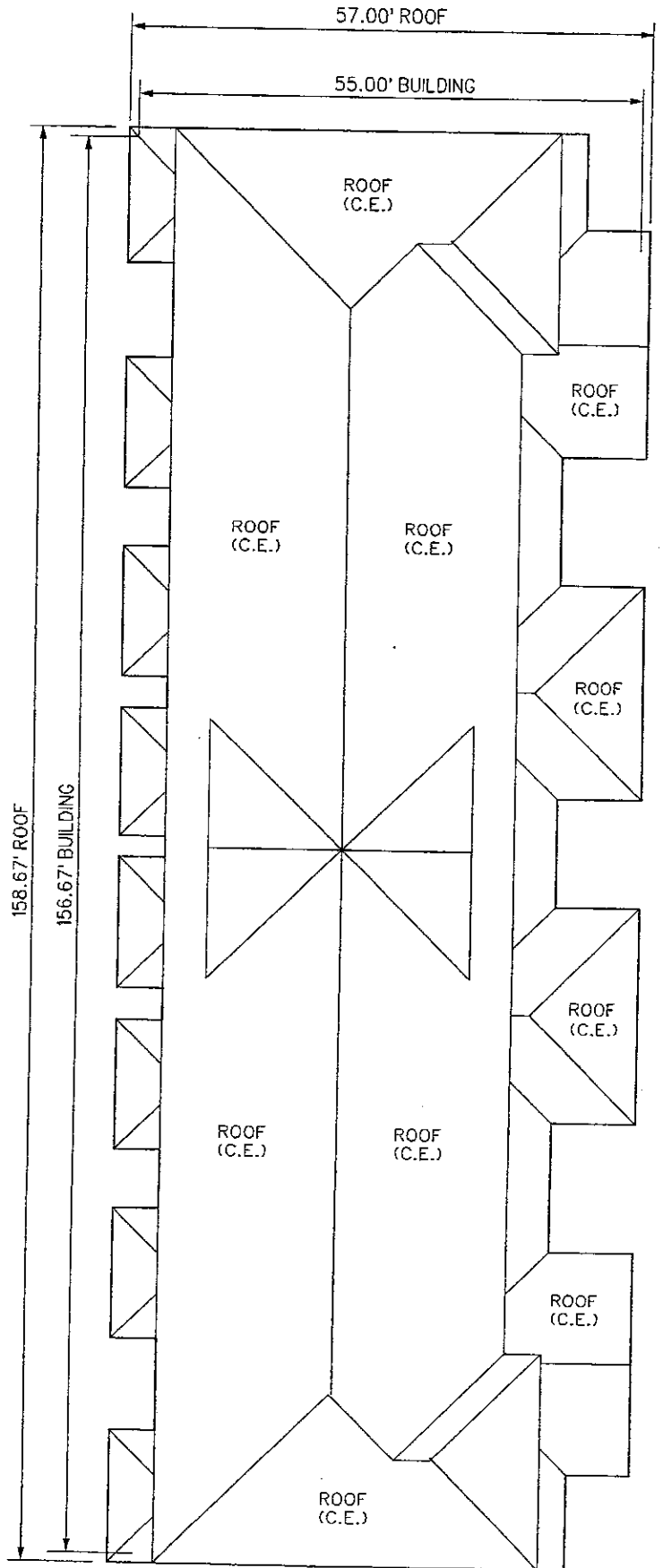
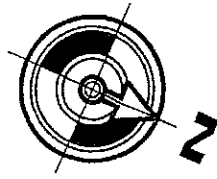
SCALE: 1"=15'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD, SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 24



**PHASE 24 - BUILDING
ROOF PLAN:**

SCALE: 1"=15'

EXHIBIT "B"

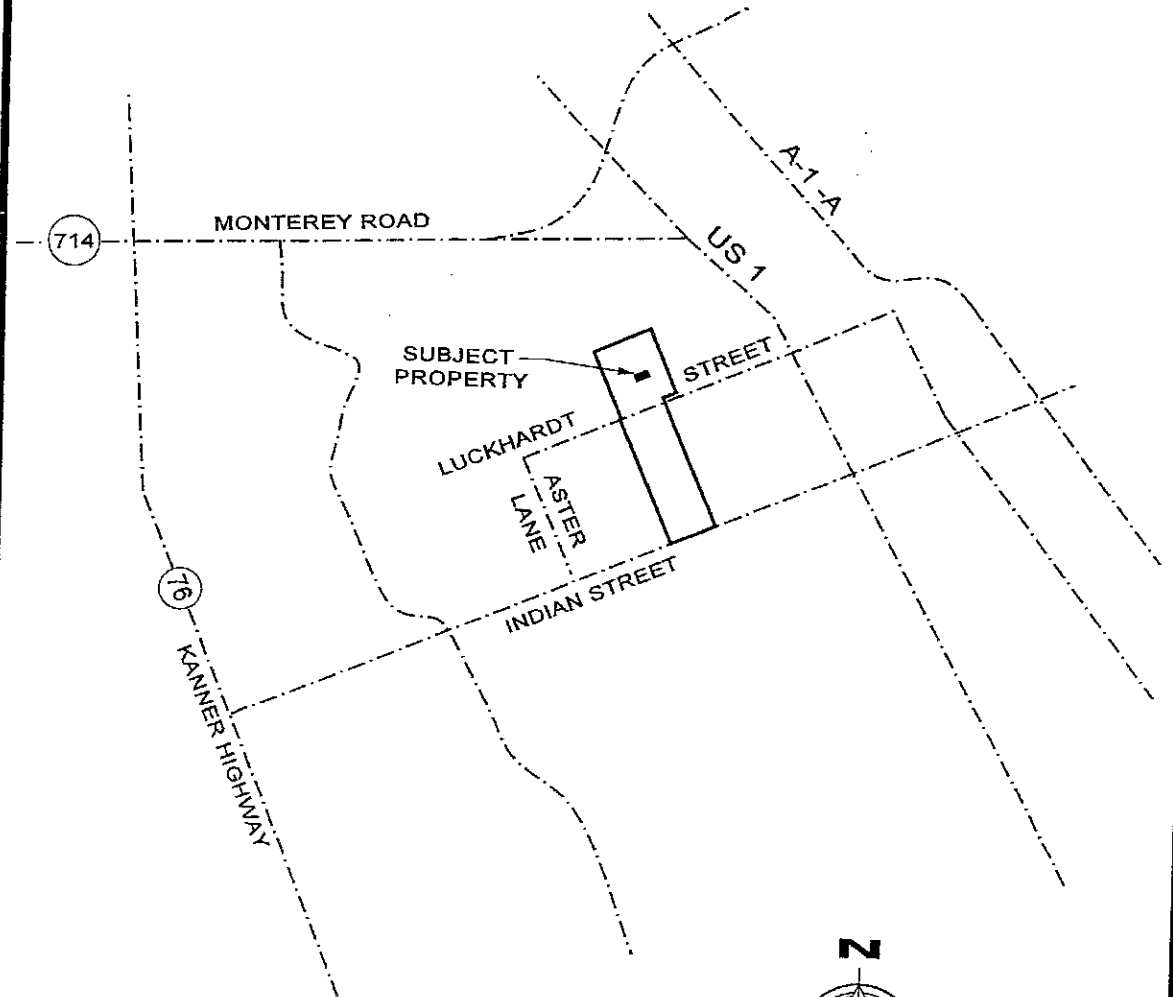
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

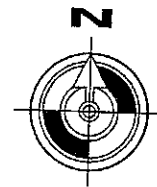
- 1.)
- 2.)
- 3.)
- 4.)

DATE: MARCH 2001 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 25



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD, SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 25

LEGAL DESCRIPTION:

A portion of Lot 14, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 229.93 feet; thence N.66°47'03"E., a distance of 170.67 feet; thence N.66°47'53"E., a distance of 176.67 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'53"E., a distance of 166.67 feet; thence S.23°12'07"E., a distance of 80.00 feet; thence S.66°47'53"W., a distance of 166.67 feet; thence N.23°12'07"W., a distance of 80.00 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	
	ELEVATION, PROPOSED		CATCH BASIN	
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 25 - LEGAL DESCRIPTION

EXHIBIT "B"

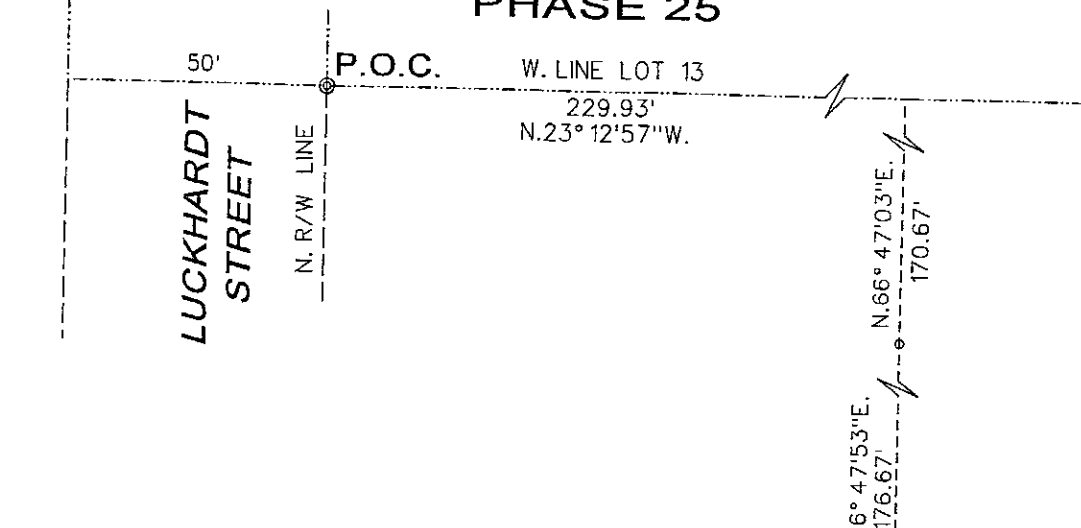
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD, SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

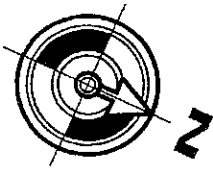
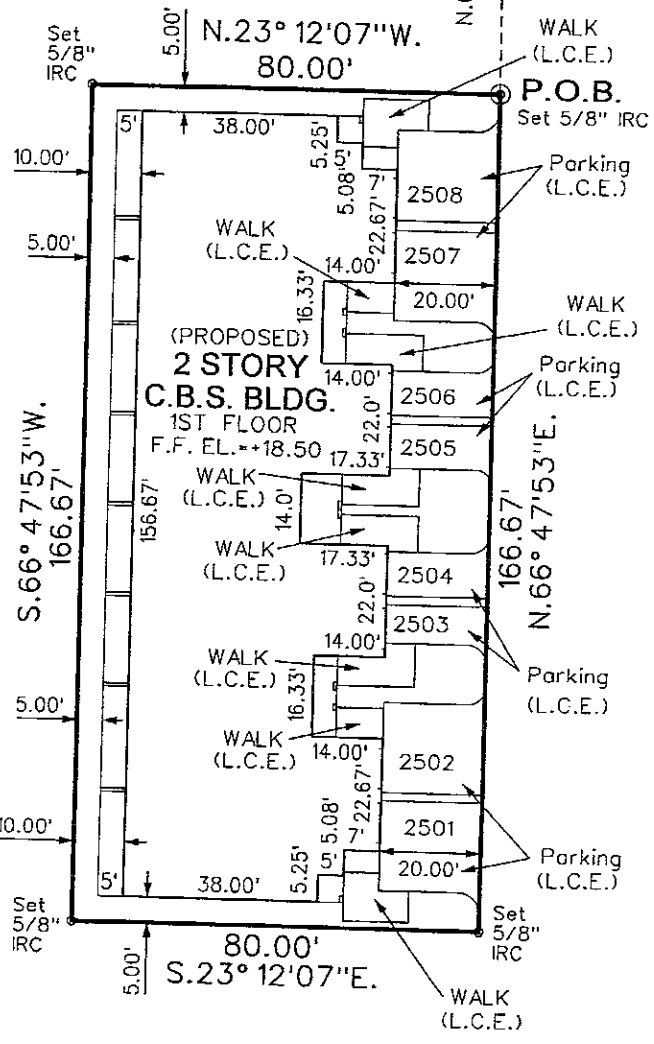
- 1.)
- 2.)
- 3.)
- 4.)

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

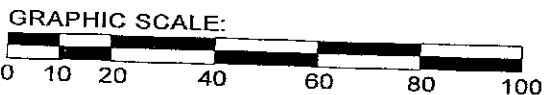
LEXINGTON LAKES, A CONDOMINIUM PHASE 25



LOT 14



PHASE 25 - SITE PLAN (PROPOSED)



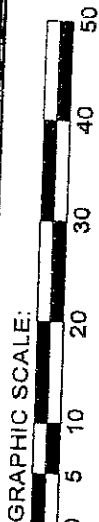
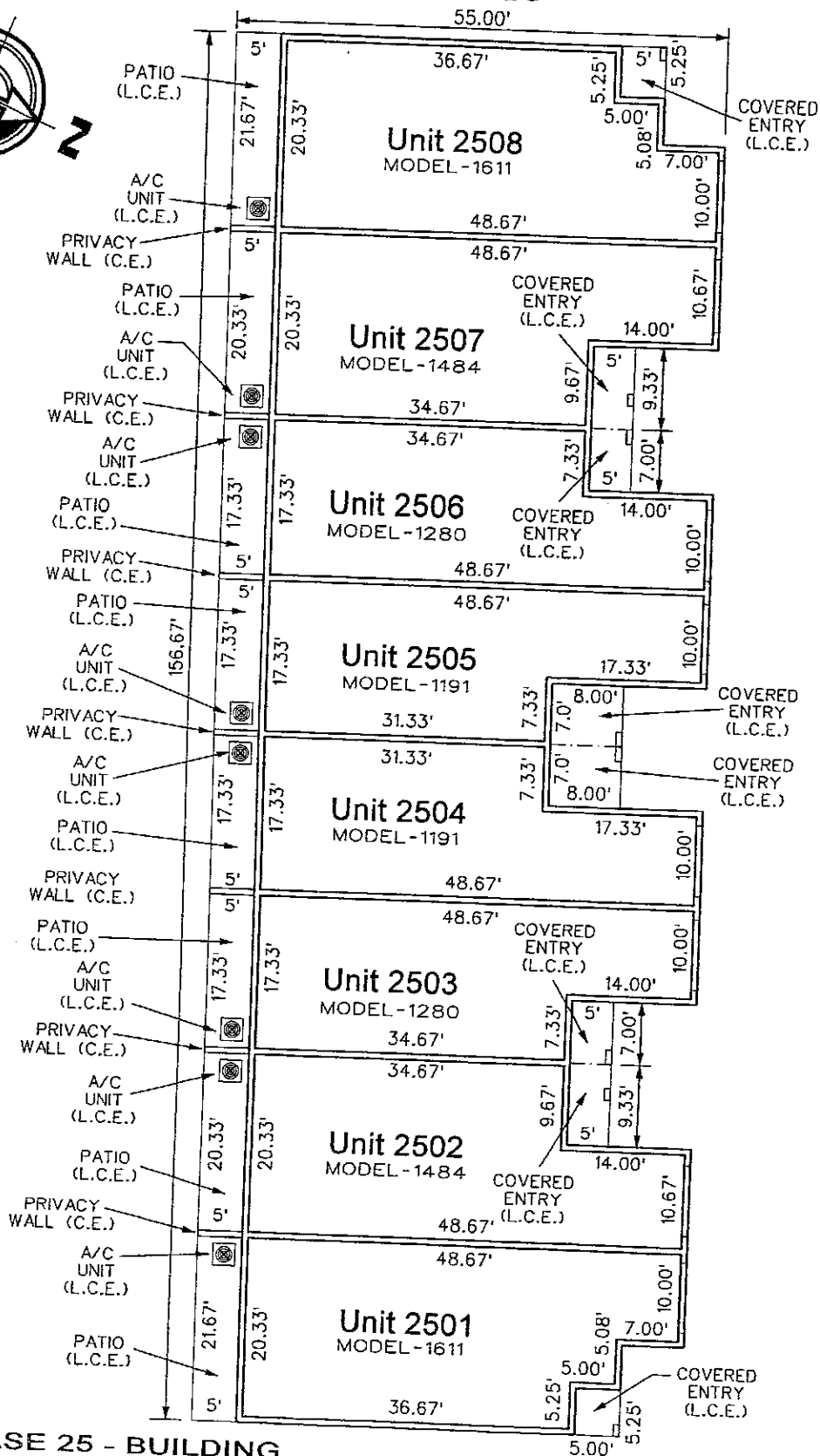
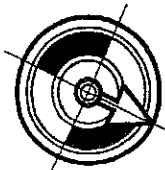
SCALE: 1"=30'

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

LEXINGTON LAKES, A CONDOMINIUM PHASE 25



**PHASE 25 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

SCALE: 1"=15'

EXHIBIT "B"

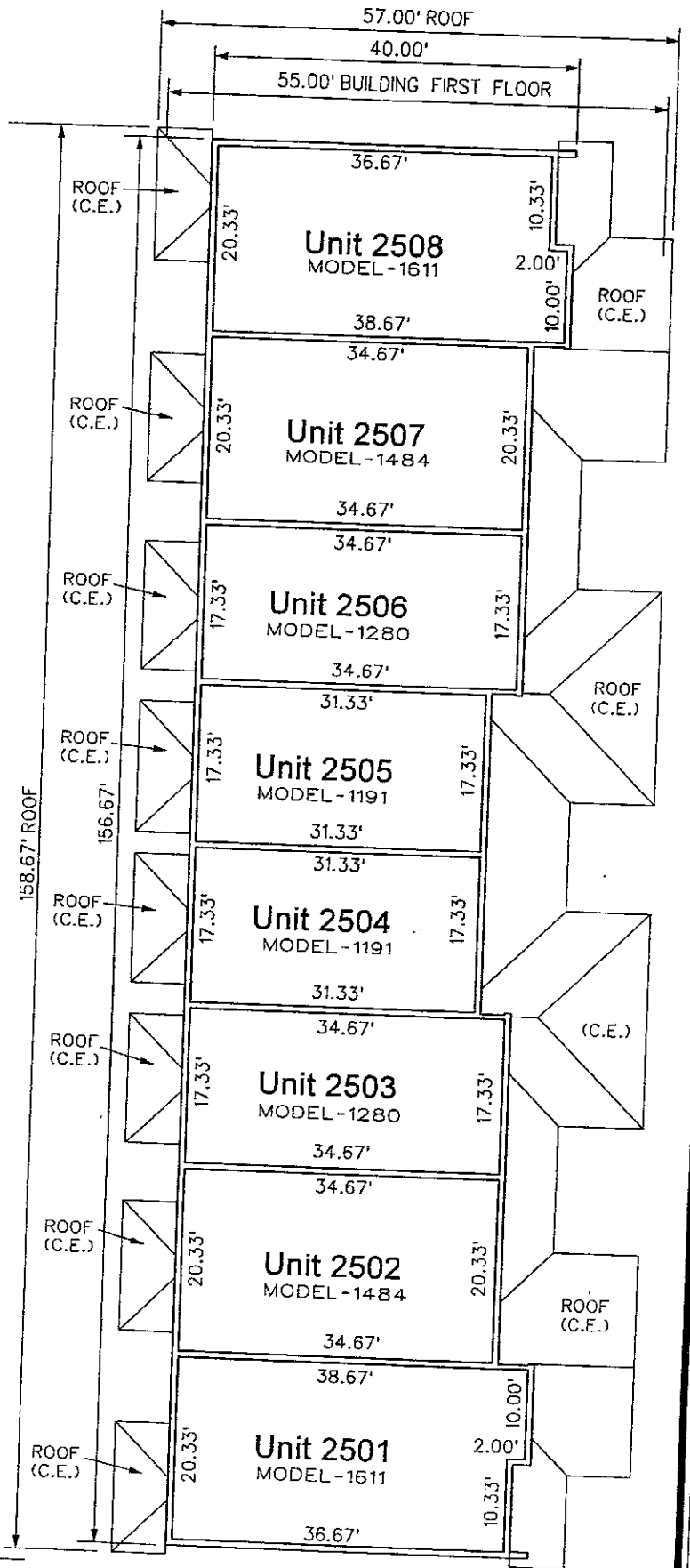
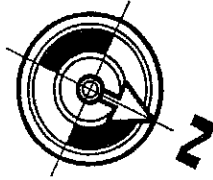
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS

3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 25



SCALE: 1"=15'

PHASE 25 - BUILDING
2ND FLOOR PLAN:

UPPER LIMITS (UNIT): +35.98

LOWER LIMITS (UNIT): +27.98

EXHIBIT "B"

REVISIONS:

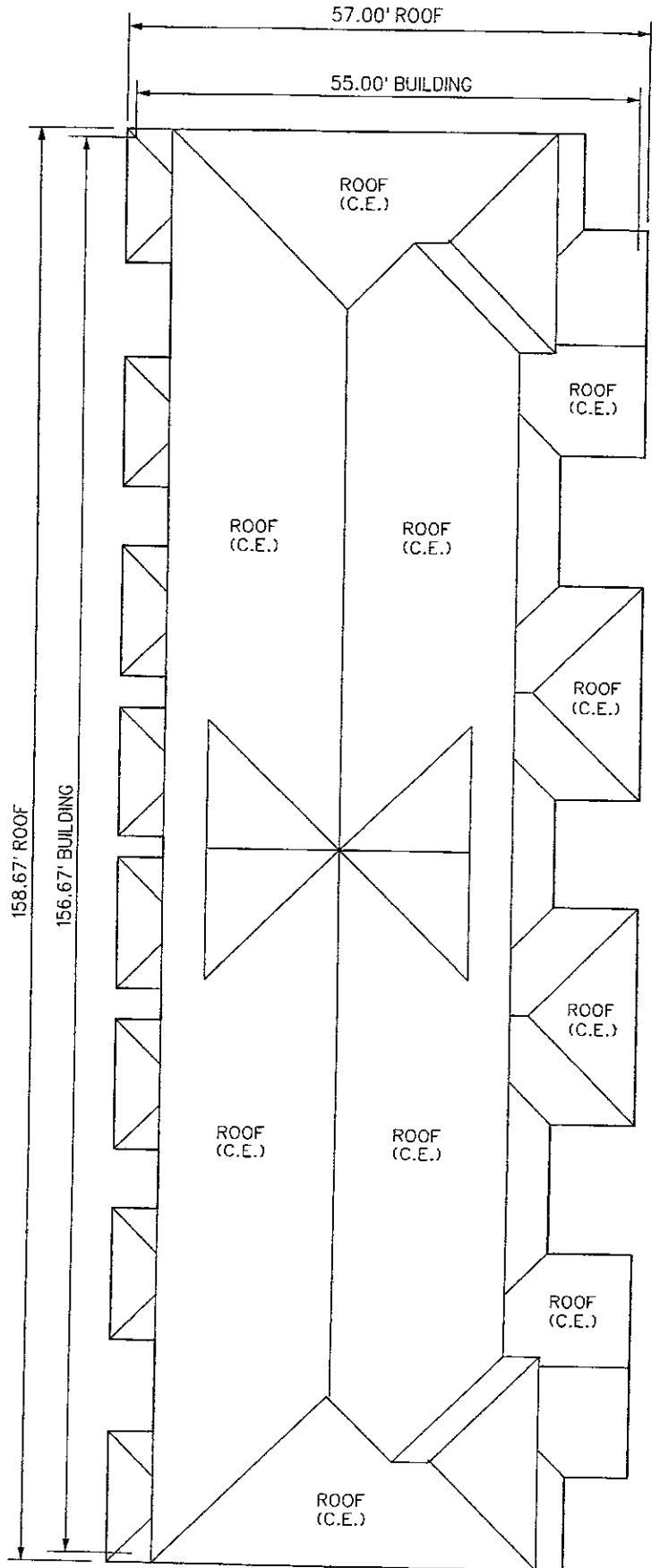
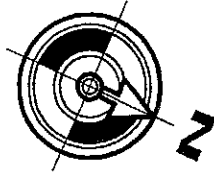
- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 5 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 25



**PHASE 25 - BUILDING
ROOF PLAN:**

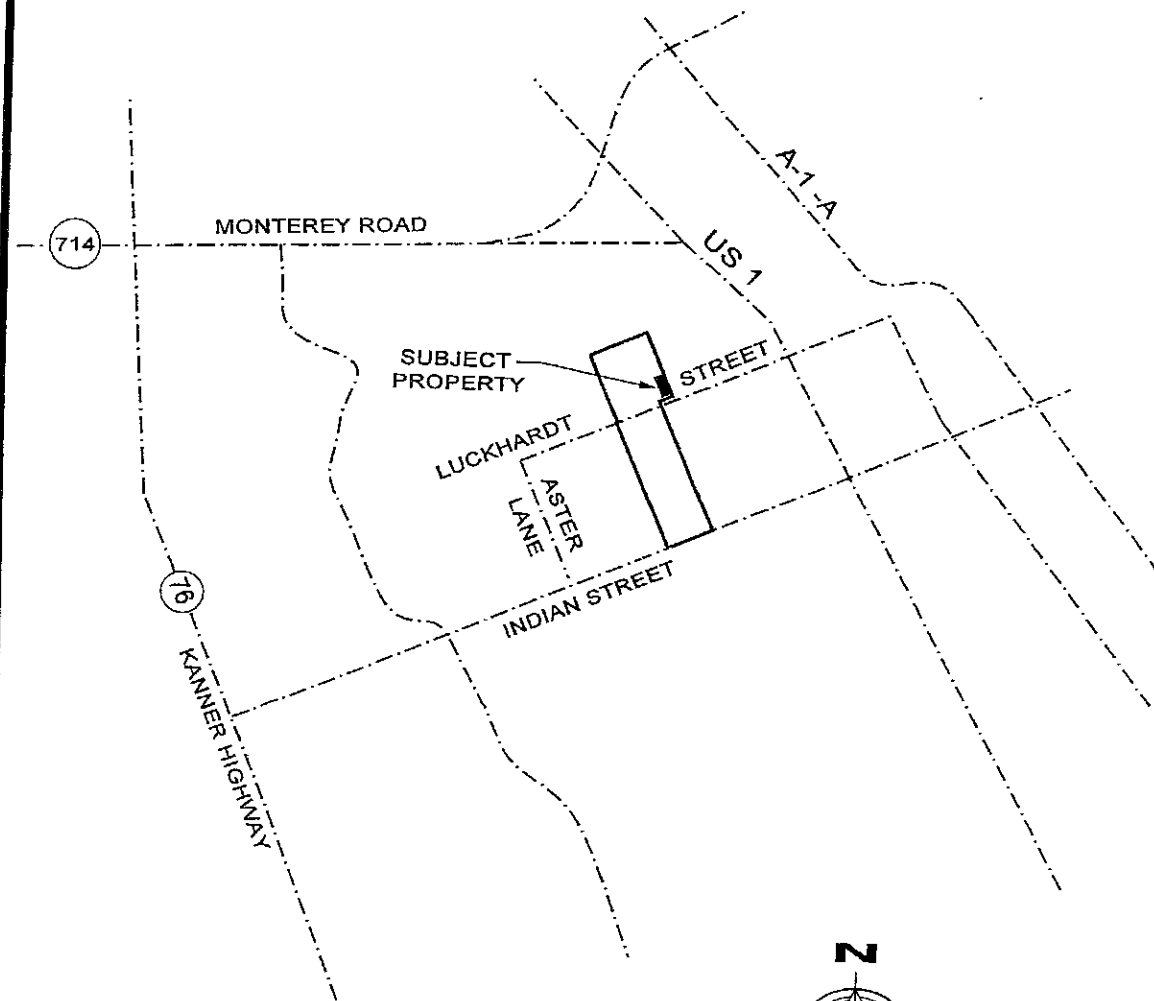
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EXHIBIT "B"

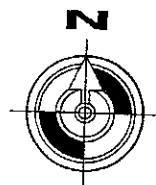
- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 26



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR *5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 26

LEGAL DESCRIPTION:

A portion of Lot 15, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the East Line of the West 1/2 of Lot 15; thence N.23°12'54"W., along said East Line of West 1/2, a distance of 66.53 feet; thence S.66°47'06"W., a distance of 35.16 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 208.67 feet; thence N.66°47'53"E., a distance of 80.00 feet; thence S.23°12'07"E., a distance of 208.67 feet to the POINT of BEGINNING.

Said lands contain 0.383 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CDNC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER		MANHOLE, SANITARY SEWER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)
B/L or 	BASELINE		MANHOLE, STORM DRAINAGE		CATCH BASIN	
	ELEVATION, AS-BUILT		FIRE HYDRANT			
	ELEVATION, PROPOSED					
	FLOW ARROW					

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.)

PHASE 26 - LEGAL DESCRIPTION

EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
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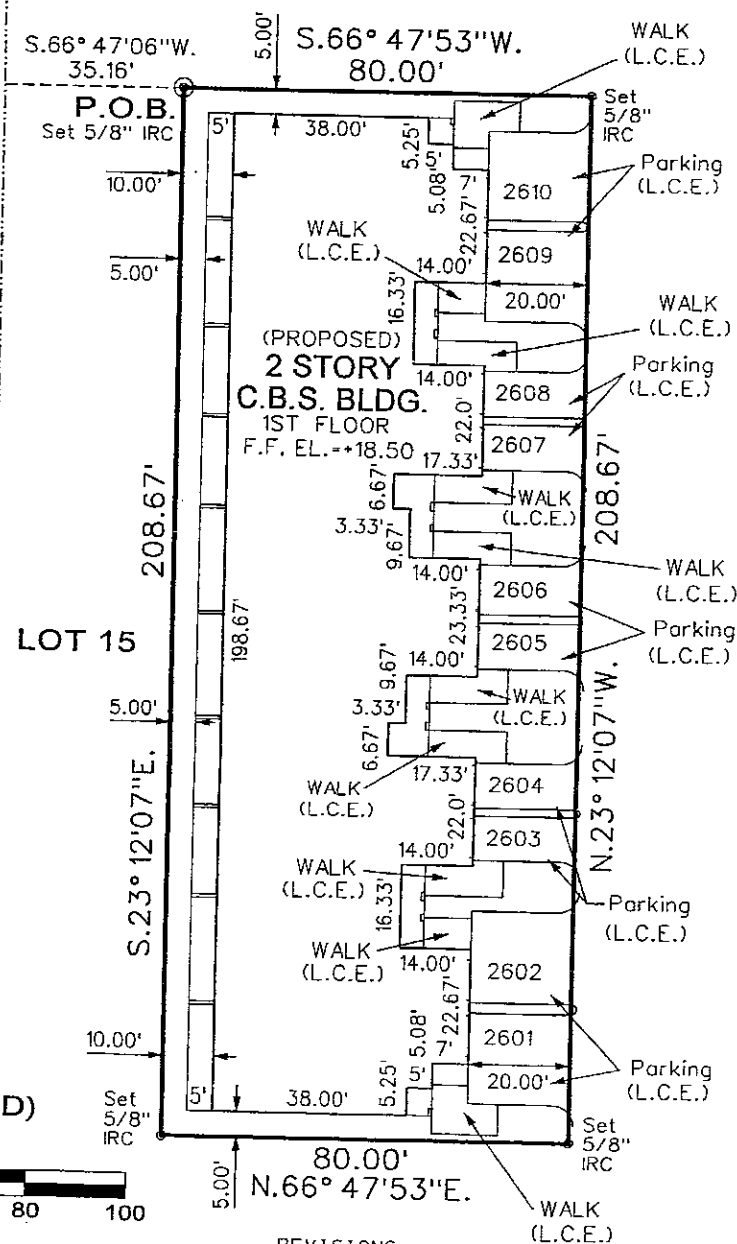
DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 26

50'
**LUCKHARDT
STREET**

P.O.C.
N. R/W LINE

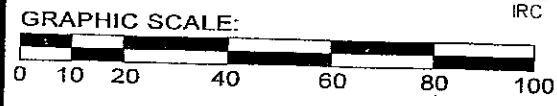
66.53'
N.23° 12'54"W.



E. LINE W. 1/2 LOT 15



**PHASE 26 -
SITE PLAN (PROPOSED)**



SCALE: 1"=30'

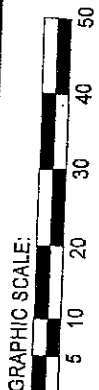
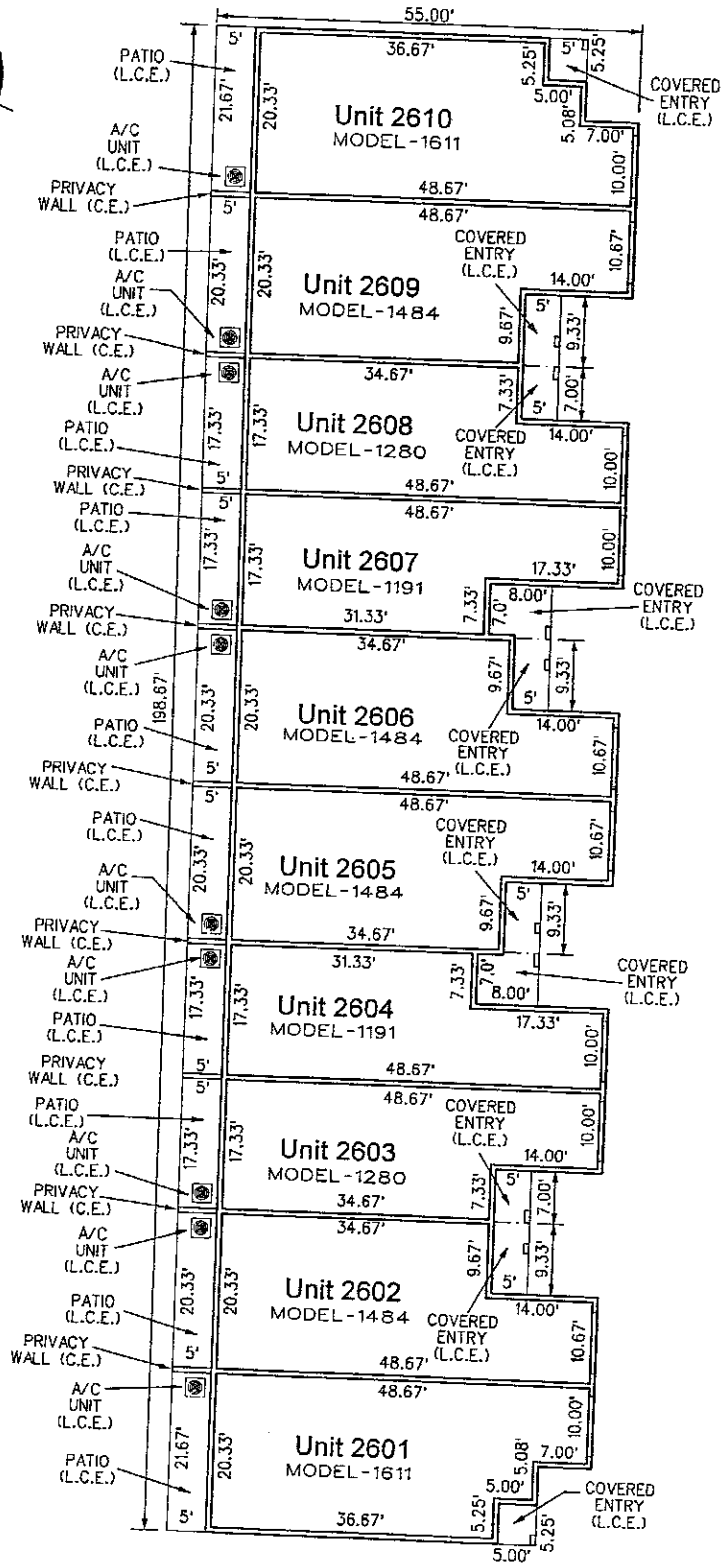
EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 3 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 26



**PHASE 26 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

SCALE: 1"=20'

EXHIBIT "B"

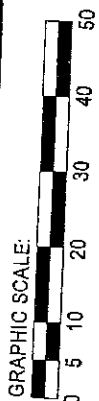
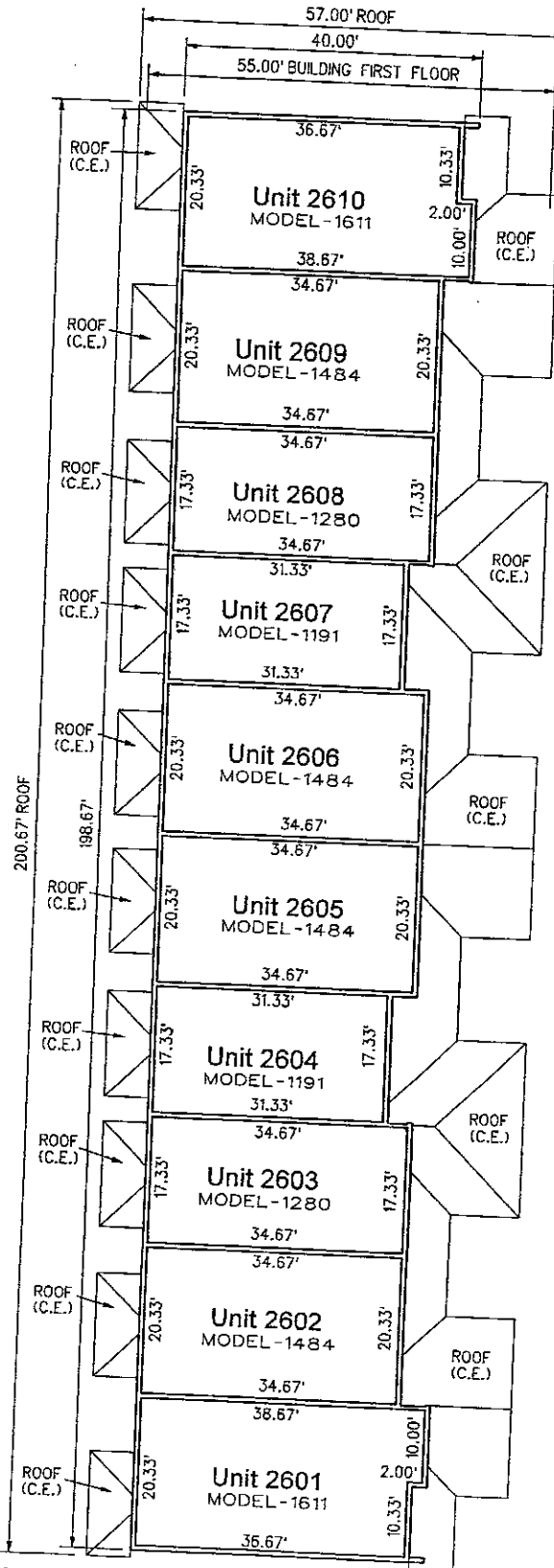
HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD., SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

DATE: MARCH 2001

LEXINGTON LAKES, A CONDOMINIUM PHASE 26



**PHASE 26 - BUILDING
2ND FLOOR PLAN:**
 UPPER LIMITS (UNIT): +35.98
 LOWER LIMITS (UNIT): +27.98

SCALE: 1"=20'

EXHIBIT "B"

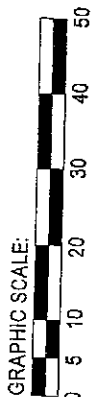
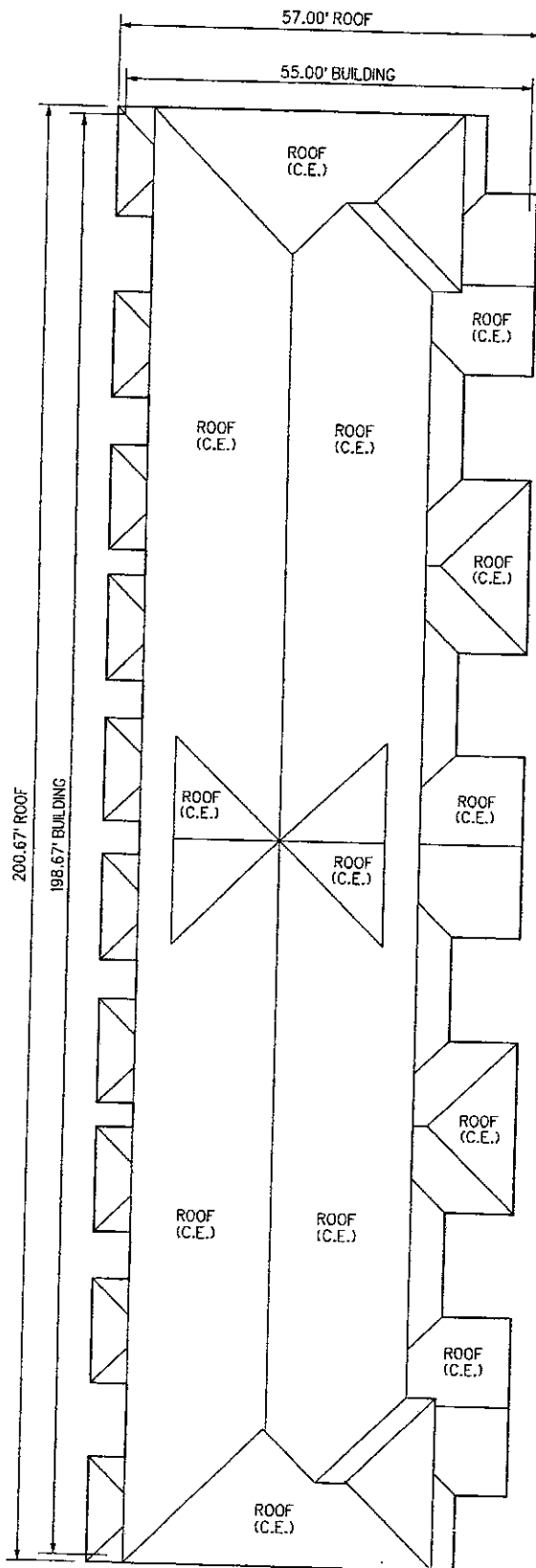
- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001

SHEET 5 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 26



**PHASE 26 - BUILDING
ROOF PLAN:**

SCALE: 1"=20'

EXHIBIT "B"

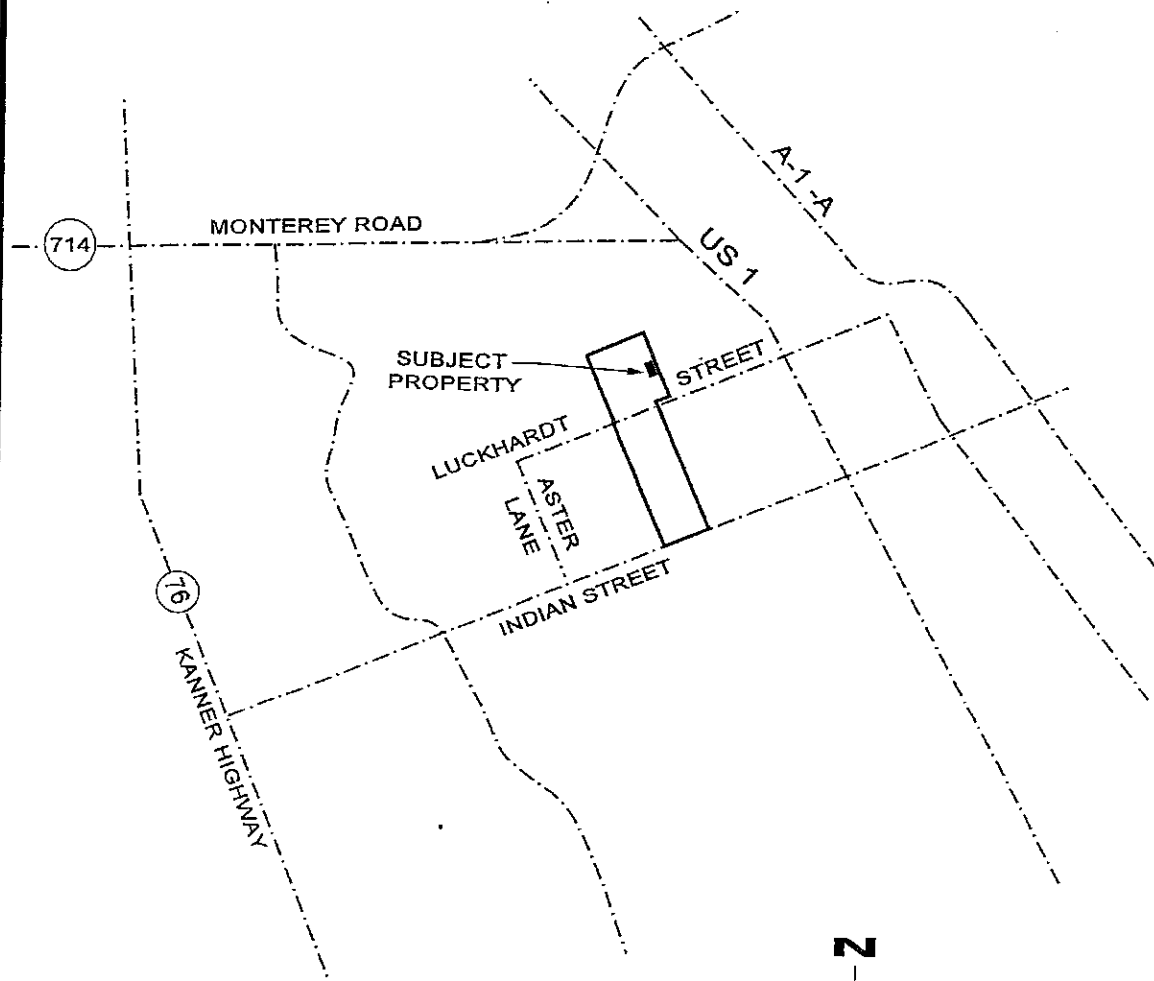
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

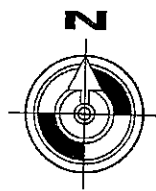
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 27



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 27

LEGAL DESCRIPTION:

A portion of Lot 15, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the East Line of the West 1/2 of Lot 15; thence N.23°12'54"W., along said East Line of West 1/2, a distance of 290.20 feet; thence S.66°47'06"W., a distance of 35.11 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 166.67 feet; thence N.66°47'53"E., a distance of 80.00 feet; thence S.23°12'07"E., a distance of 166.67 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A






ABBREVIATIONS:






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A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	O.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE-	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.) OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L of 	CENTERLINE
B/L of 	BASELINE
	ELEVATION, AS-BUILT
	ELEVATION, PROPOSED
	FLOW ARROW

	EDGE OF WATER
	MANHOLE, SANITARY SEWER
	MANHOLE, STORM DRAINAGE
	CATCH BASIN
	FIRE HYDRANT

BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.; ELEVATION= +16.33 (N.G.V.D.)

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 27 - LEGAL DESCRIPTION

EXHIBIT "B"

REVISIONS:
1.)
2.)
3.)
4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

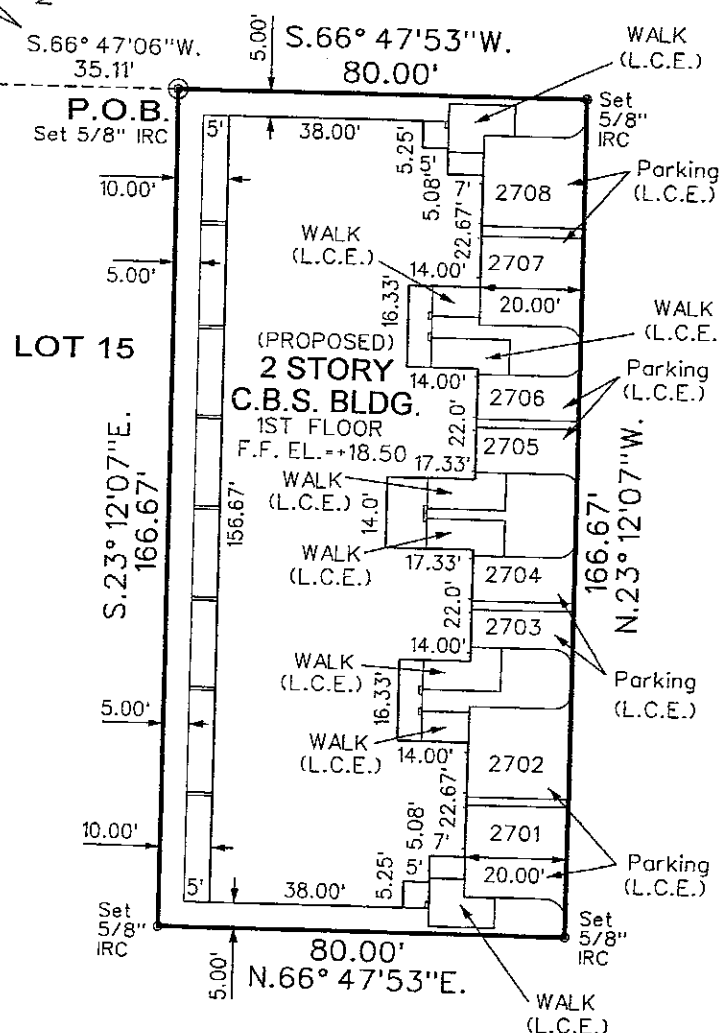
LEXINGTON LAKES, A CONDOMINIUM PHASE 27

**LUCKHARDT
STREET**

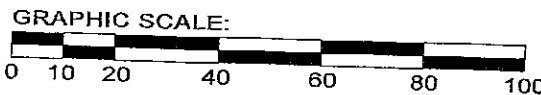
P.O.C.
N. R/W LINE



50'
 290.20'
 N.23° 12'54" W.
 S.66° 47'06" W.
 35.11'
 P.O.B.
 Set 5/8" IRC
 E. LINE W. 1/2 LOT 15
 LOT 15
 S.23° 12'07" E.
 166.67'
 5.00'
 10.00'
 5.00'
 5.00'
 5.00'
 10.00'
 5.00'
 5.00'
 10.00'
 5.00'
 5.00'
 Set 5/8" IRC



PHASE 27 - SITE PLAN (PROPOSED)



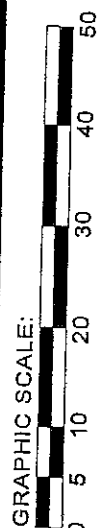
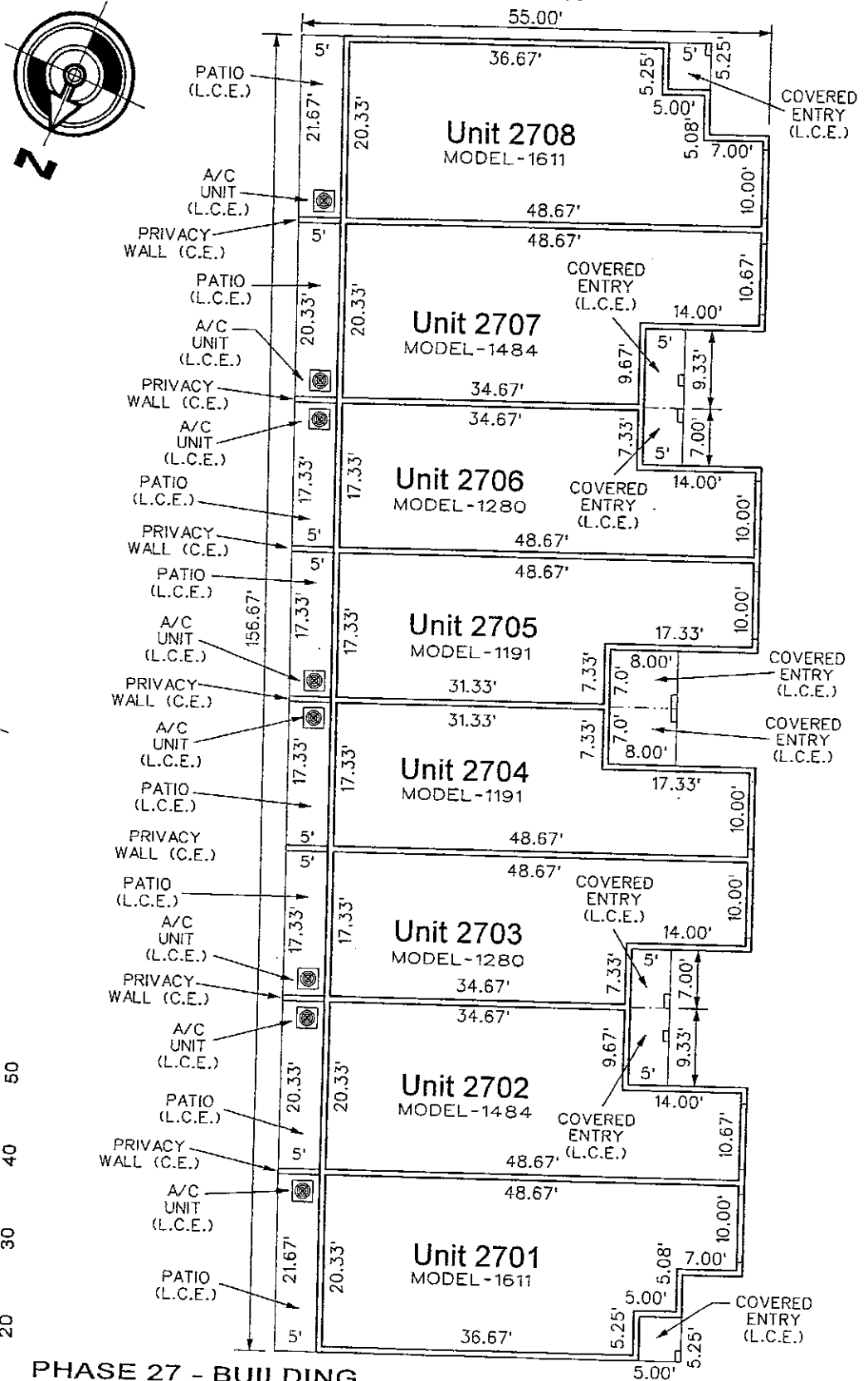
SCALE: 1"=30'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
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 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 27



**PHASE 27 - BUILDING
1ST FLOOR PLAN:**
 UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

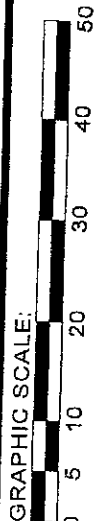
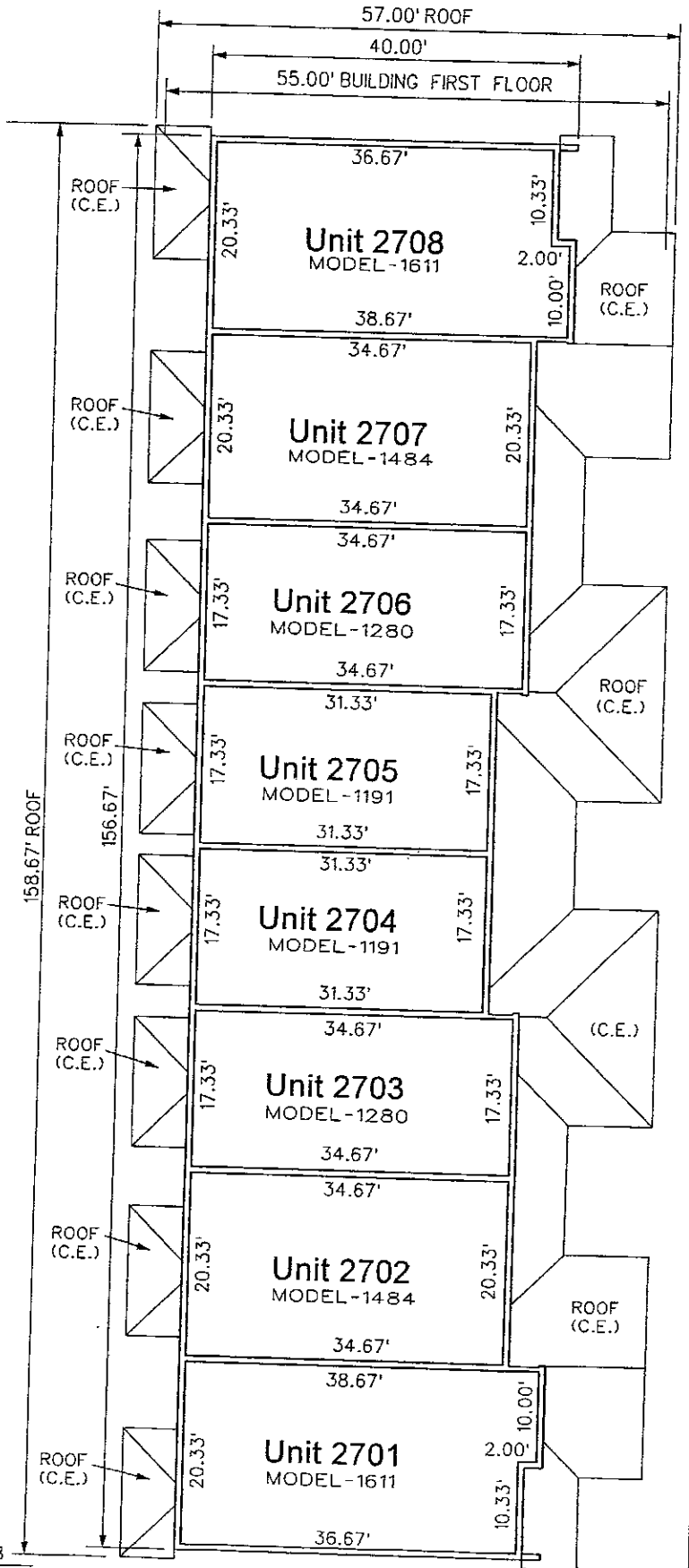
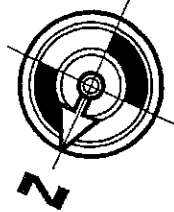
SCALE: 1"=15'

EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 27



SCALE: 1"=15'
PHASE 27 - BUILDING
2ND FLOOR PLAN:
 UPPER LIMITS (UNIT): +35.98
 LOWER LIMITS (UNIT): +27.98

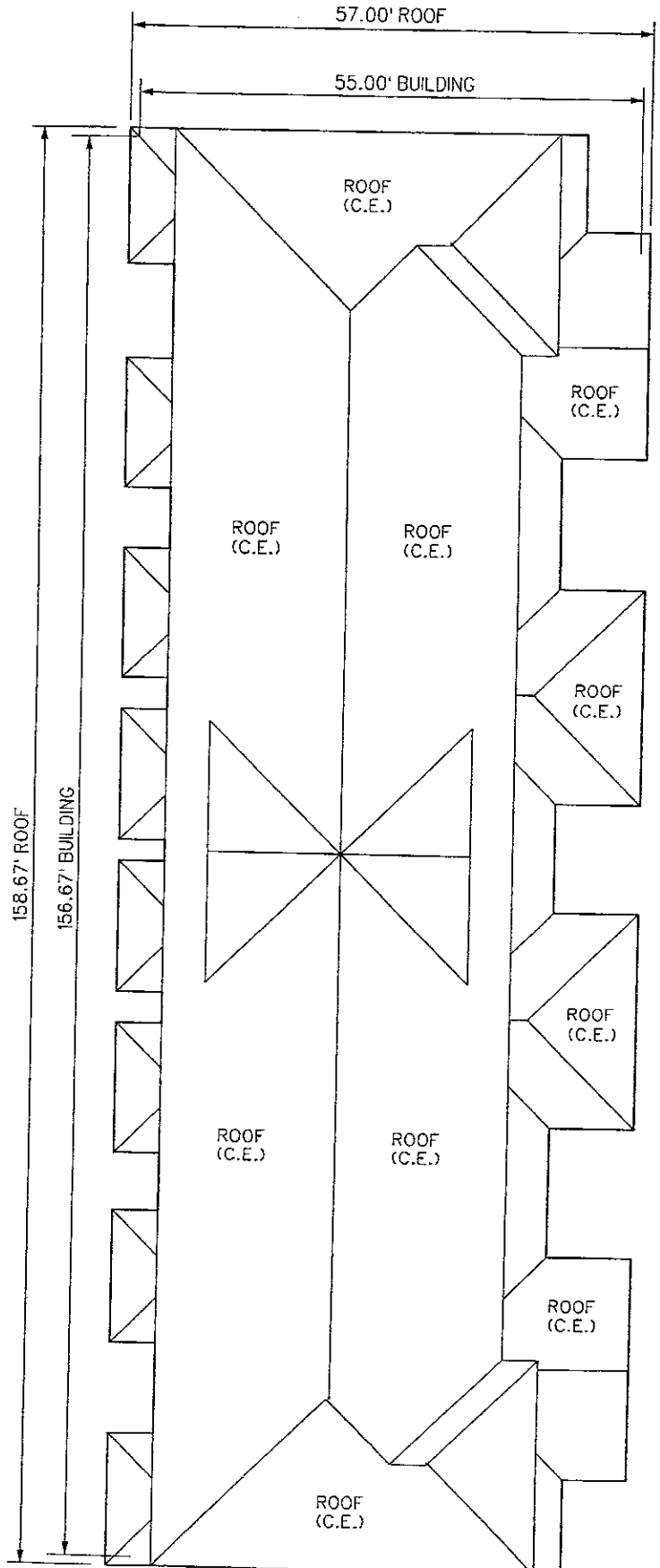
EXHIBIT "B"

REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 27



**PHASE 27 - BUILDING
ROOF PLAN:**

SCALE: 1"=15'

EXHIBIT "B"

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

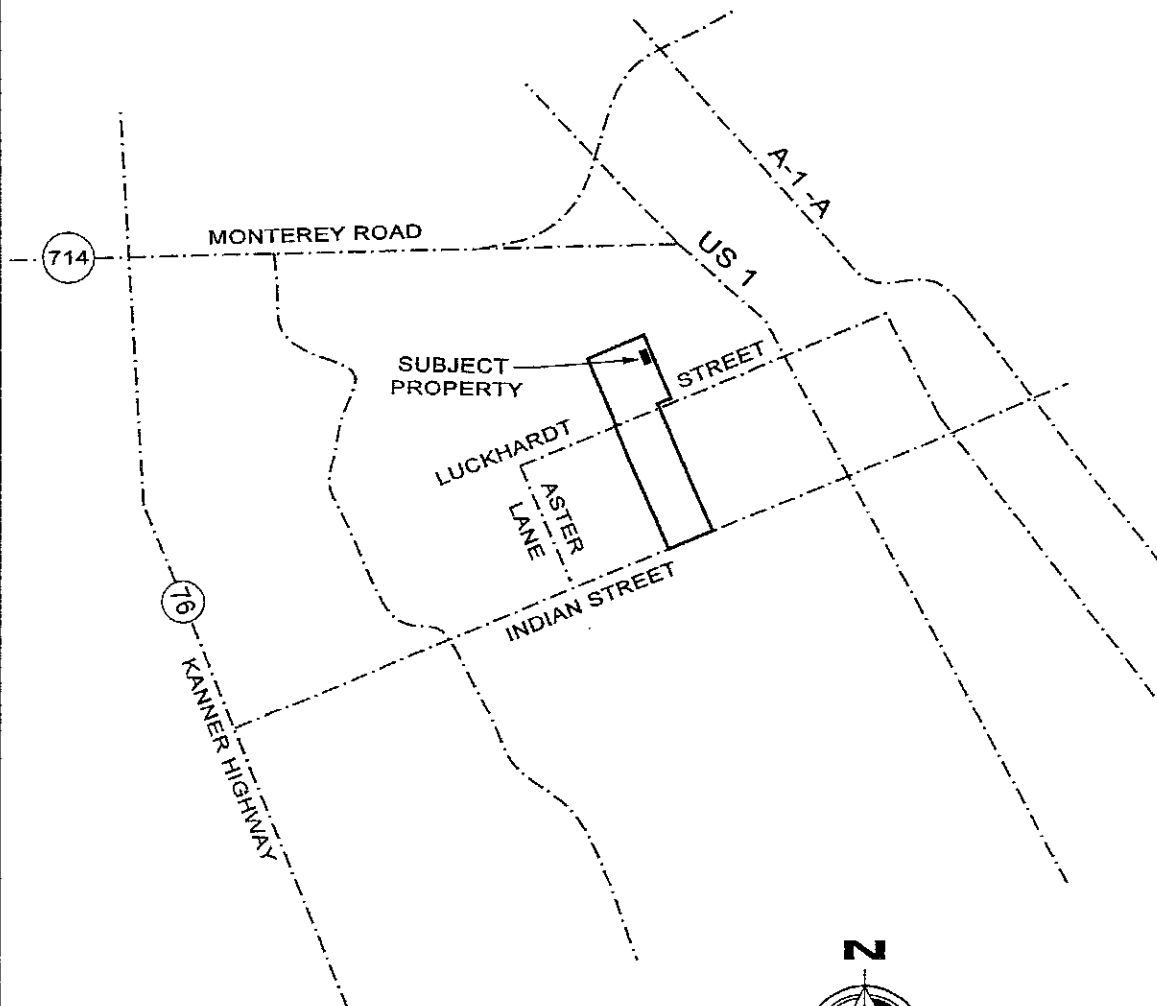
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

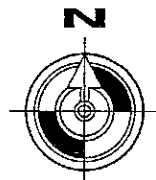
- 1.)
- 2.)
- 3.)
- 4.)

DATE: MARCH 2001 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 28



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

LEXINGTON LAKES, A CONDOMINIUM PHASE 28

LEGAL DESCRIPTION:

A portion of Lot 15, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the East Line of the West 1/2 of Lot 15; thence N.23°12'54"W., along said East Line of West 1/2, a distance of 471.87 feet; thence S.66°47'06"W., a distance of 48.04 feet to the POINT of BEGINNING of the hereinafter described lands; thence S.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 166.67 feet; thence N.66°47'53"E., a distance of 80.00 feet; thence S.23°12'07"E., a distance of 166.67 feet to the POINT of BEGINNING.

Said lands contain 0.306 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.D.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.). OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;
	ELEVATION, PROPOSED		CATCH BASIN	ELEVATION= +16.33 (N.G.V.D.)
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 28 - LEGAL DESCRIPTION

EXHIBIT "B"

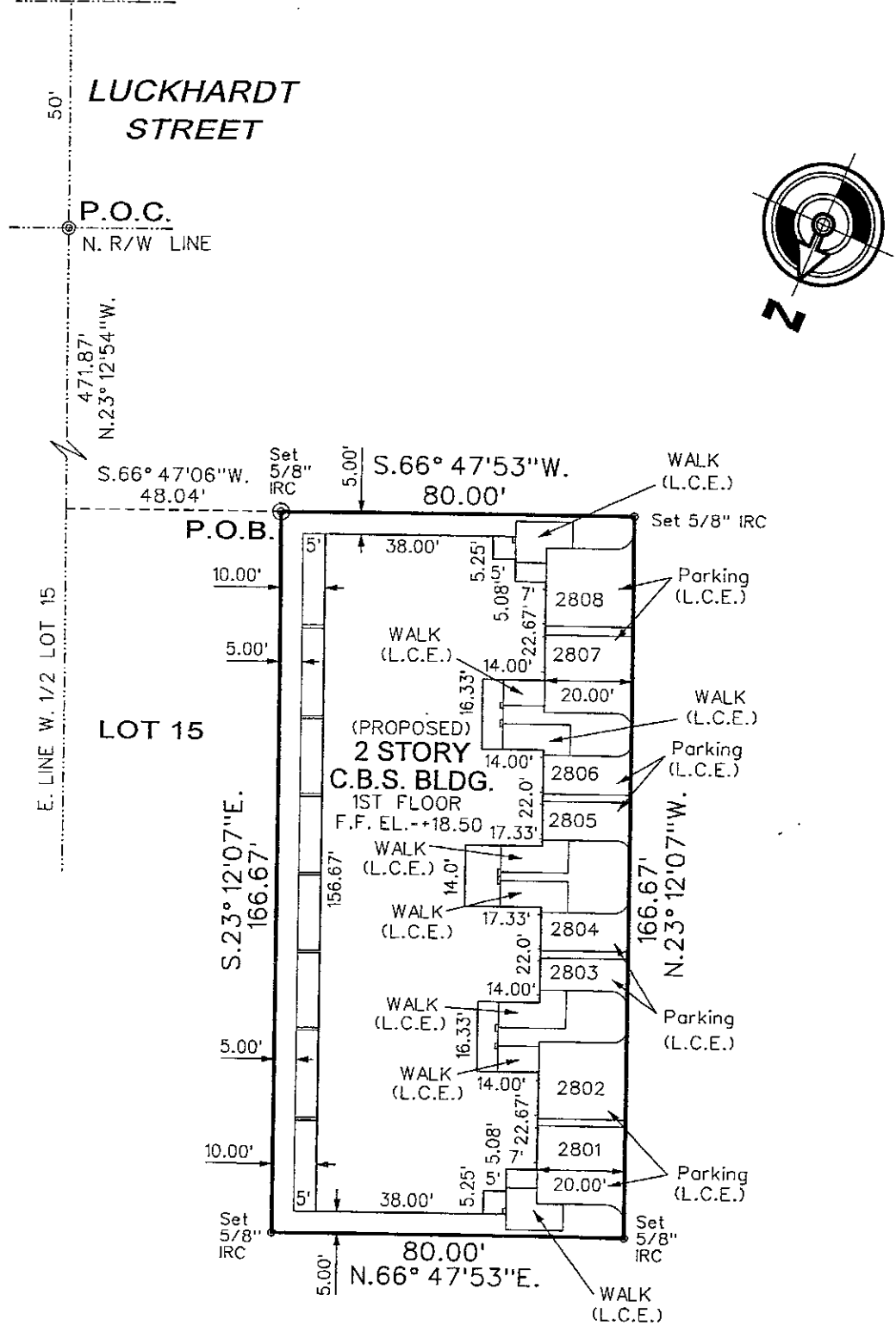
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 28



PHASE 28 - SITE PLAN (PROPOSED)

GRAPHIC SCALE:



SCALE: 1"=30'

EXHIBIT "B"

REVISIONS:

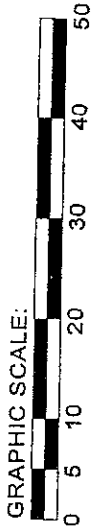
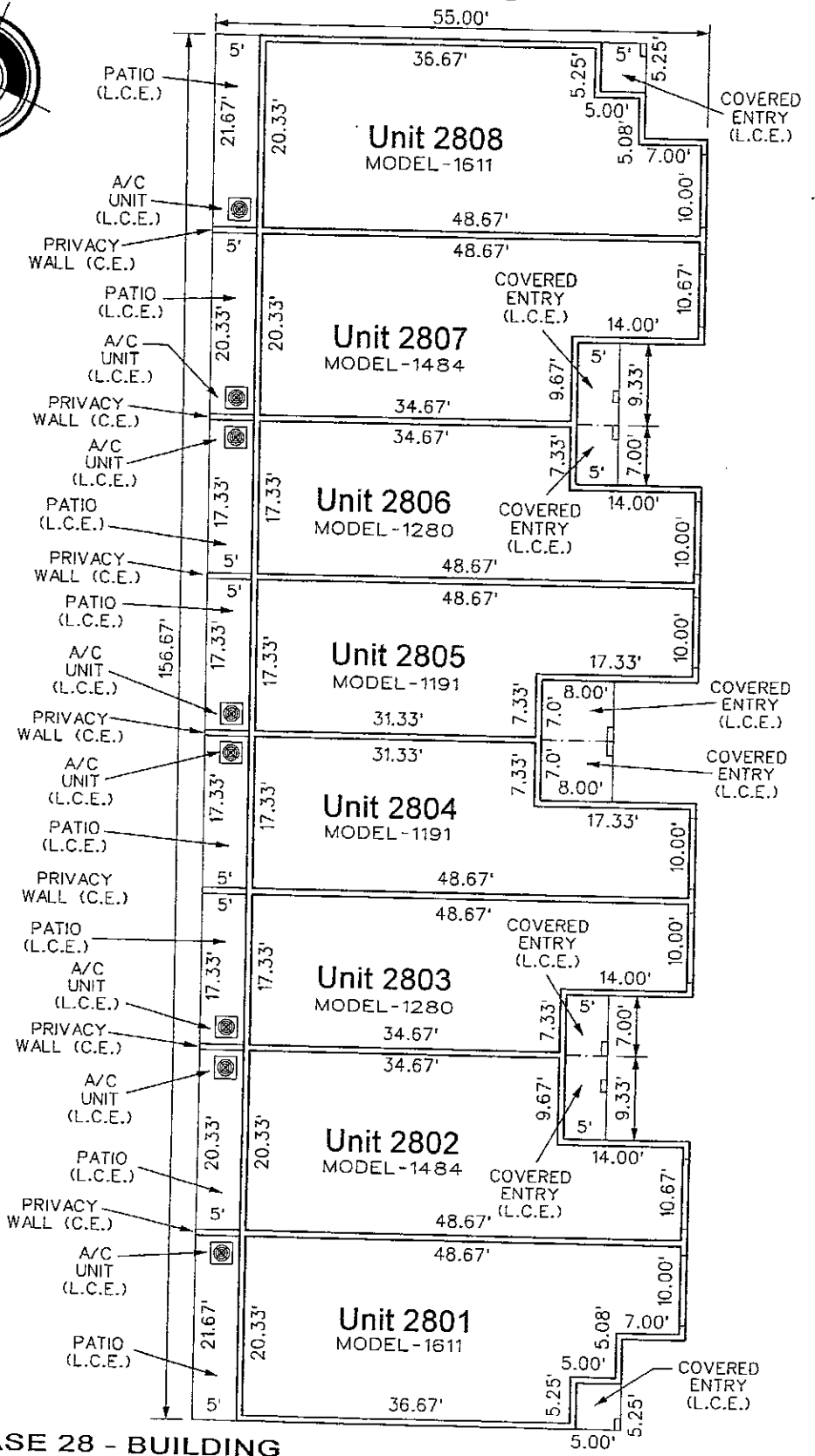
- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS

3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 3 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 28



**PHASE 28 - BUILDING
1ST FLOOR PLAN:**

UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50
 LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

SCALE: 1"=15'

EXHIBIT "B"

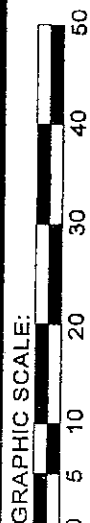
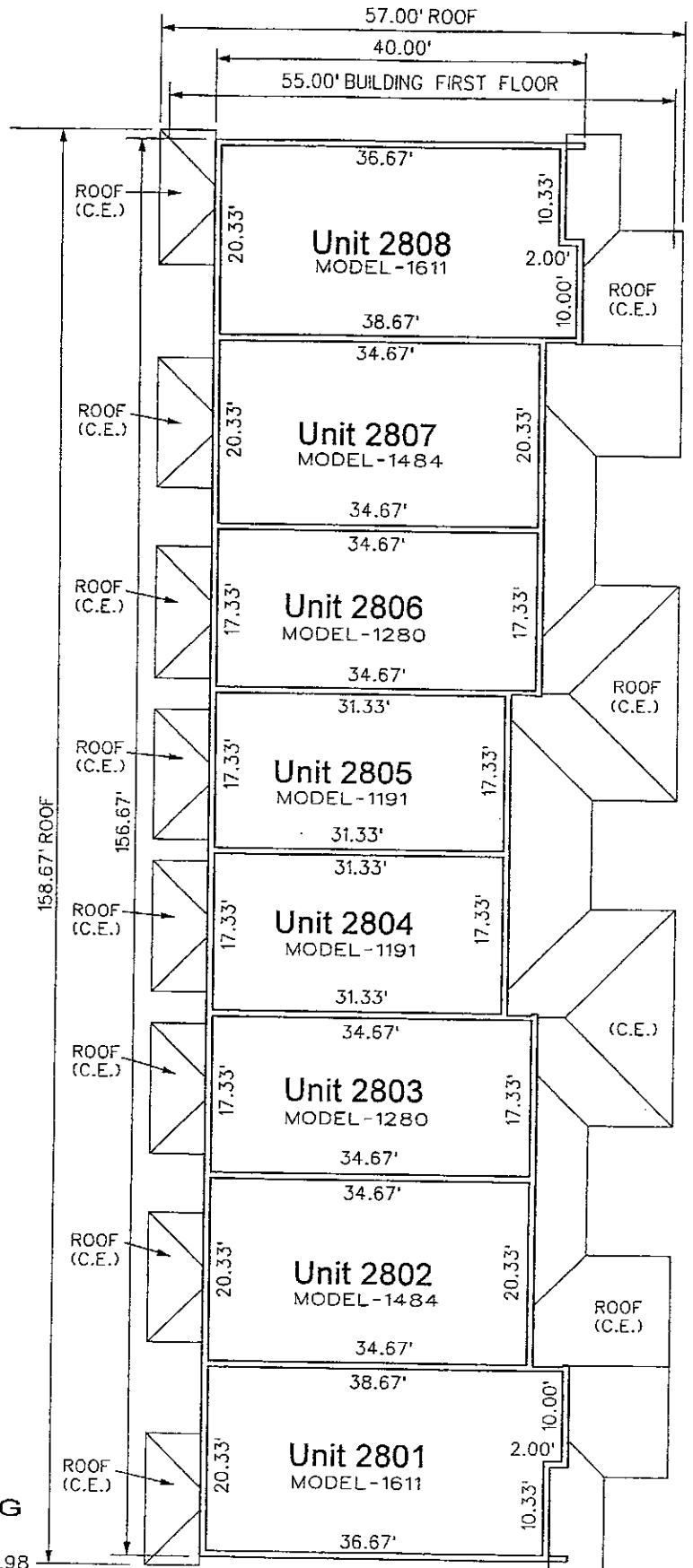
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 4 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 28



SCALE: 1"=15'
PHASE 28 - BUILDING
2ND FLOOR PLAN:
 UPPER LIMITS (UNIT): +35.98
 LOWER LIMITS (UNIT): +27.98

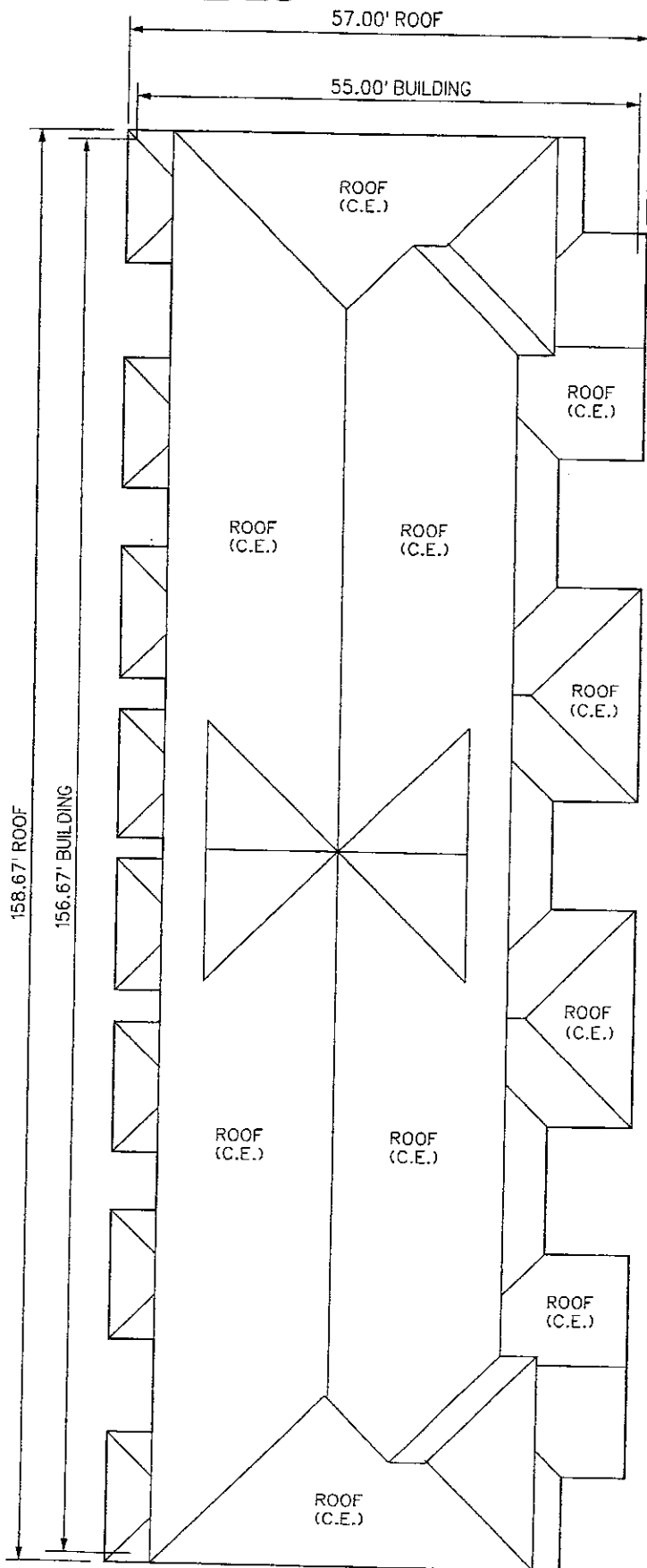
EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 5 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 28



**PHASE 28 - BUILDING
ROOF PLAN:**

SCALE: 1"=15'

EXHIBIT "B"

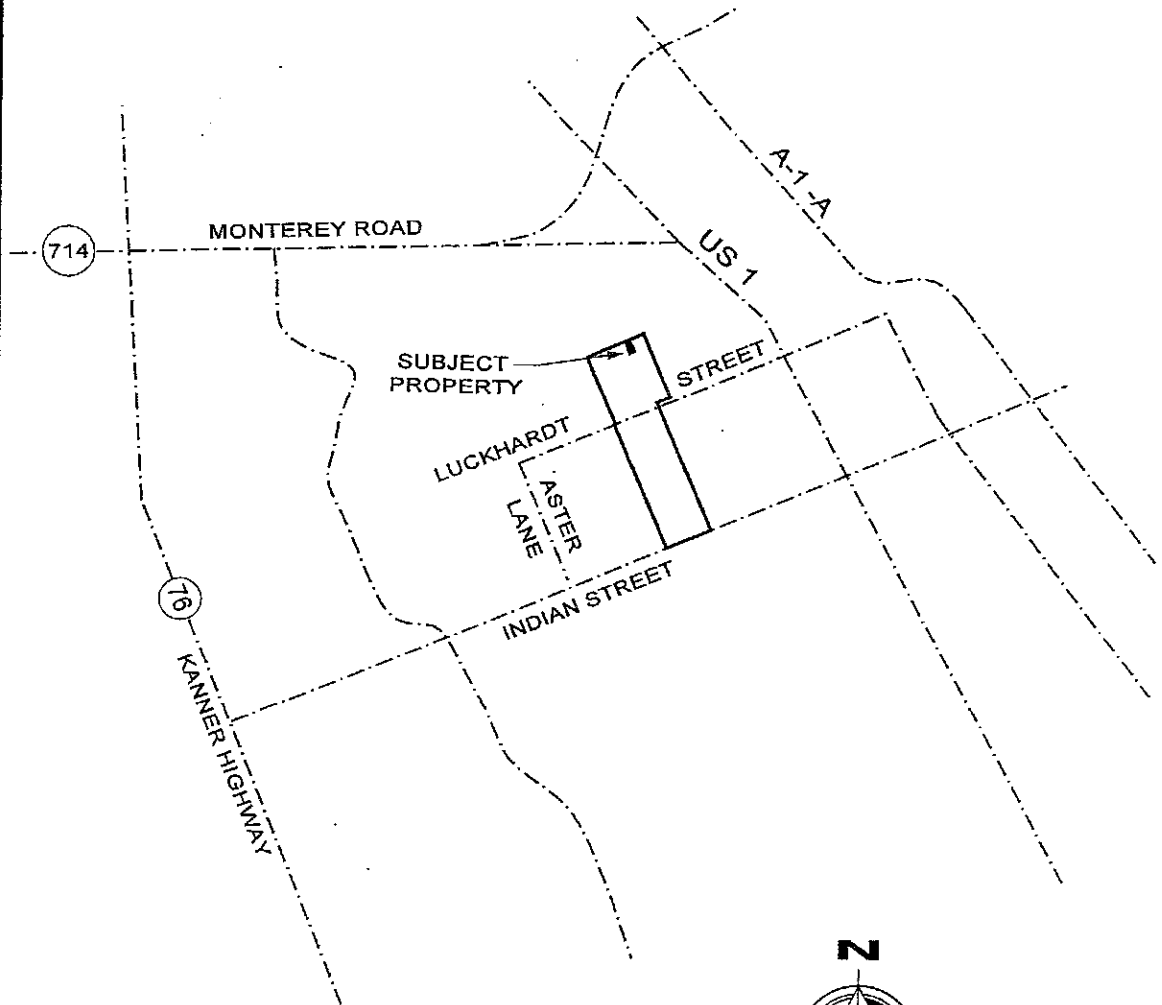
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

REVISIONS:

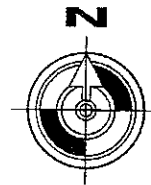
- 1.)
- 2.)
- 3.)
- 4.)

DATE: MARCH 2001 SHEET 6 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 29



LOCATION MAP:
NOT TO SCALE



SURVEYOR'S CERTIFICATE:

The undersigned a Land Surveyor duly authorized to practice under the laws of the State of Florida, Hereby Certifies That: this EXHIBIT "B", Sheet 1 through 6 inclusive, all of which are made part of the Declaration of Condominium of "LEXINGTON LAKES, A CONDOMINIUM", together with provisions of the aforesaid Declaration of Condominium describing the condominium property, as it relates to matters of survey, is an accurate representation of the proposed location and proposed dimensions of the improvements and further that the identification, proposed location and proposed dimensions of the units, common elements and limited common elements can be determined from these materials.

HAGER, PALBICKE & ASSOCIATES, INC.

BY: _____ DATE: APRIL 2004
 THOMAS R. PALBICKE, VICE PRESIDENT, REGISTERED LAND SURVEYOR #5061,
 STATE OF FLORIDA

NOT VALID UNLESS
 EMBOSSED WITH
 RAISED SEAL OF
 ATTESTING REGISTERED
 LAND SURVEYOR

EXHIBIT "B"

- REVISIONS:
 1.)
 2.)
 3.)
 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 1 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 29

LEGAL DESCRIPTION:

A portion of Lot 14, "SEWALL'S POINT LAND COMPANY'S SUBDIVISION," according to the Plat thereof, as recorded in Plat Book 3, Pages 7 and 8, of the Public Records of Martin County, Florida, and being in the Hanson Grant, Township 38 South, Range 41 East, City of Stuart, Martin County, Florida, being more particularly described as follows:

COMMENCING at the intersection of the North Right-of-Way Line of LUCKHARDT STREET, with the West Line of Lot 13; thence N.23°12'57"W., along said West Line, a distance of 760.37 feet; thence N.66°47'03"E., a distance of 456.38 feet to the POINT of BEGINNING of the hereinafter described lands; thence N.66°47'53"E., a distance of 80.00 feet; thence S.23°12'07"E., a distance of 130.67 feet; thence S.66°47'53"W., a distance of 80.00 feet; thence N.23°12'07"W., a distance of 130.67 feet to the POINT of BEGINNING.

Said lands contain 0.240 acres, more or less.

FLOOD INFORMATION:

MAP NO: 12085C0161F DATE OF FIRM: OCT. 4, 2002 FIRM ZONE: X BASE FLOOD ELEVATION: N/A











ABBREVIATIONS:

A=	- ARC LENGTH	F.F.	- FINISHED FLOOR	PG.	- PAGE
A/C	- AIR CONDITIONER	F.H.	- FIRE HYDRANT	PROP.	- PROPOSED
C.R.	- COUNTY RECORDS	GAR.	- GARAGE	PAVE.	- PAVEMENT
BLDG.	- BUILDING	FND.	- FOUND	P.C.P.	- PERMANENT CONTROL POINT
C.E.	- COMMON ELEMENT.	I.P.	- IRON PIPE	P.R.M.	- PERMANENT REFERENCE MONUMENT
C.B.	- CATCH BASIN	I.P.C.	- IRON PIPE & CAP	P.O.B.	- POINT OF BEGINNING
C.B.S.	- CONCRETE BLOCK & STUCCO	I.R.C.	- IRON ROD & CAP	P.O.C.	- POINT OF COMMENCEMENT
CH	- CHORD	L.C.E.	- LIMITED COMMON ELEMENT	P.O.T.	- POINT OF TERMINATION
C.L.F.	- CHAIN LINK FENCE	M.H.	- MANHOLE	R=	- RADIUS
CONC.	- CONCRETE	N.T.S.	- NOT TO SCALE	R/W	- RIGHT OF WAY
D=	- DELTA (CENTRAL) ANGLE	N&D	- NAIL & DISK	SEC.	- SECTION
D.E.	- DRAINAGE EASEMENT	N&T	- NAIL & TAB	TYP.	- TYPICAL
DRAIN.	- DRAINAGE	D.R.B.	- OFFICIAL RECORDS BOOK	U.E.	- UTILITY EASEMENT
EASE.	- EASEMENT	P.B.	- PLAT BOOK	W.M.	- WATER METER
EL.	- ELEVATION			W.V.	- WATER VALVE

NOTES:

- 1.) ELEVATIONS WHEN SHOWN REFER TO THE NATIONAL GEODETIC VERTICAL DATUM (N.G.V.D.), OF 1929.
- 2.) THIS FIRM HAS MADE NO ATTEMPT TO LOCATE FOOTINGS AND/OR FOUNDATIONS OR OTHER UNDERGROUND IMPROVEMENTS (UNLESS OTHERWISE NOTED).
- 3.) THIS DRAWING IS THE PROPERTY OF HAGER, PALBICKE & ASSOCIATES, INC. AND WAS PREPARED FOR AND CERTIFIED TO THE PARTY AND/OR PARTIES INDICATED HEREON AND IS NOT TRANSFERABLE OR ASSIGNABLE. IT SHALL NOT BE USED OR REPRODUCED WHOLE OR IN PART WITHOUT WRITTEN AUTHORIZATION.
- 4.) ALL IRON PIPES/OR/RODS, NAILS & DISCS, SET BY THIS FIRM, SET WITH CAP/OR/DISC WITH L.B. 6772.
- 5.) NOTE ALL AREAS THAT ARE NOT UNITS OR LIMITED COMMON ELEMENTS (L.C.E.) ARE COMMON ELEMENTS (C.E.).

LEGEND:

C/L or 	CENTERLINE		EDGE OF WATER	BENCHMARK: BENCHMARK "WILL-IND"; A "P.K." NAIL
B/L or 	BASELINE		MANHOLE, SANITARY SEWER	AND DISK NO. 4350; TOP OF CONC. CURB; S. SIDE OF
	ELEVATION, AS-BUILT		MANHOLE, STORM DRAINAGE	INDIAN STREET & CENTERLINE OF WILLOUGHBY BLVD.;
	ELEVATION, PROPOSED		CATCH BASIN	ELEVATION= +16.33 (N.G.V.D.)
	FLOW ARROW		FIRE HYDRANT	

(BEARINGS SHOWN HEREON ARE BASED UPON AN ASSUMED MERIDIAN ALONG THE CENTERLINE OF INDIAN STREET, HAVING A BEARING OF N.66°46'22"E.).

PHASE 29 - LEGAL DESCRIPTION

EXHIBIT "B"

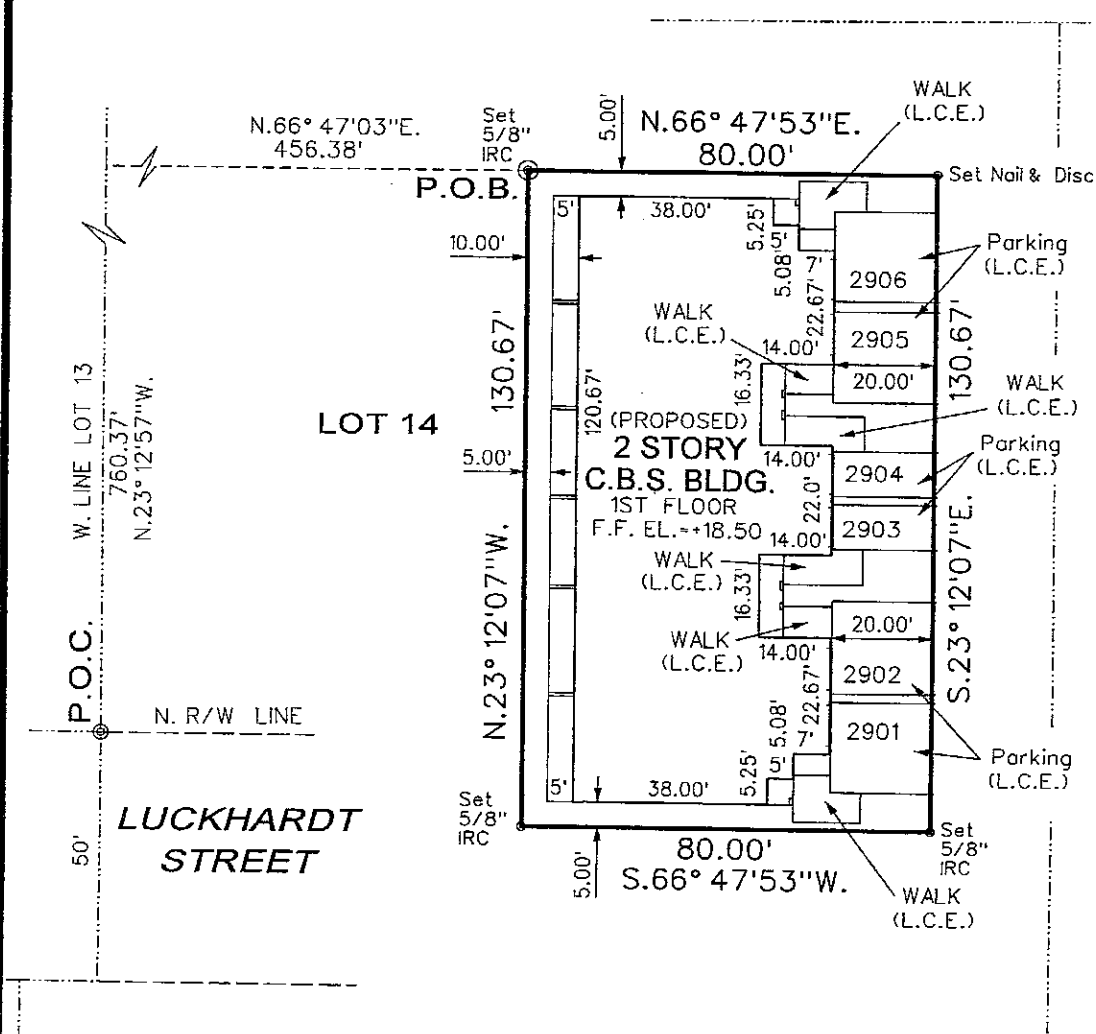
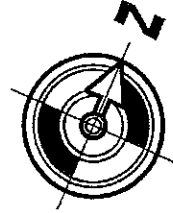
REVISIONS:

- 1.)
- 2.)
- 3.)
- 4.)

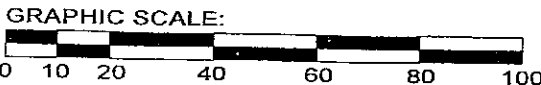
HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: APRIL 2004 SHEET 2 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 29



PHASE 29 - SITE PLAN (PROPOSED)



SCALE: 1"=30'

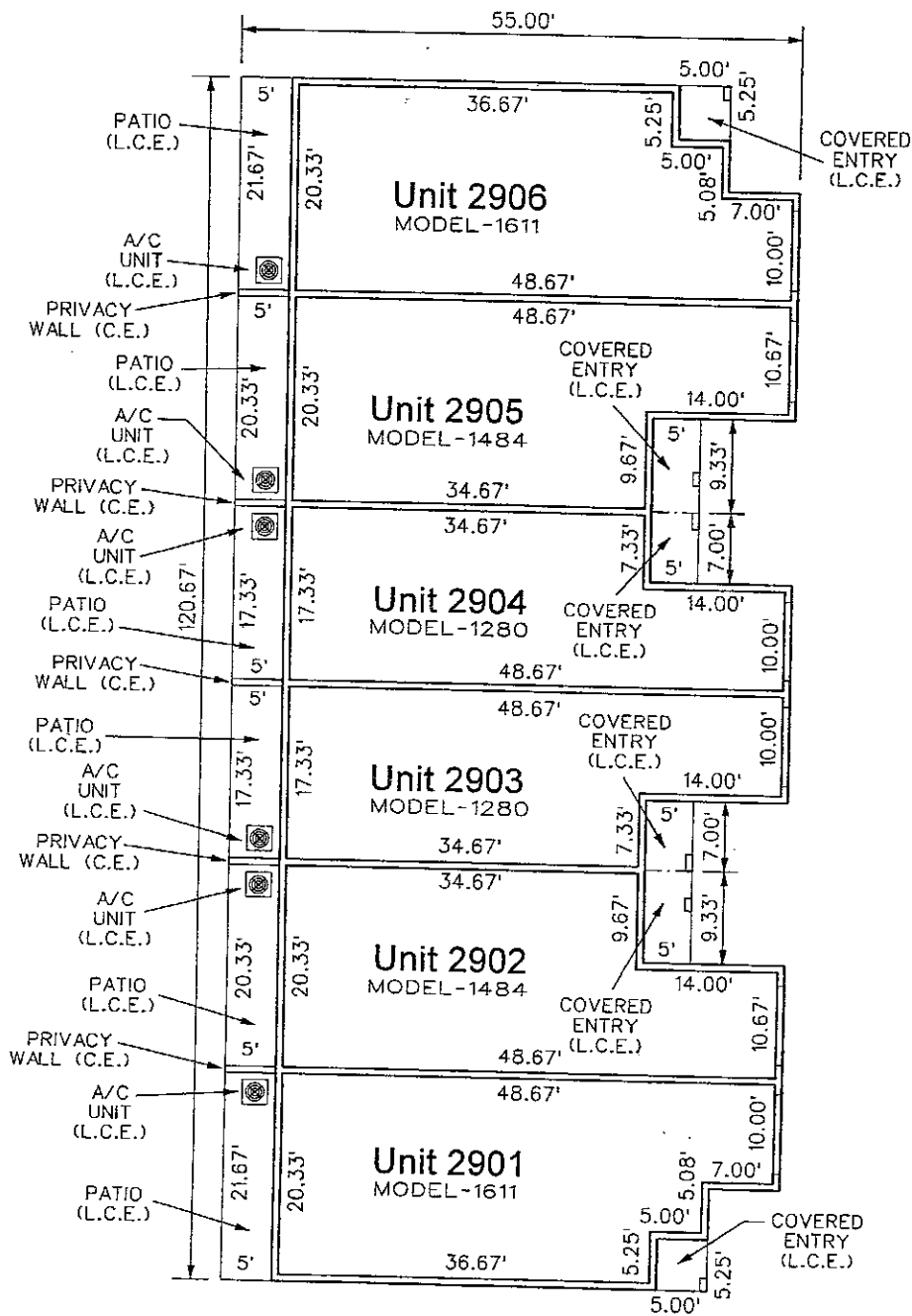
EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 3 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 29



SCALE: 1"=15'

PHASE 29 - BUILDING
1ST FLOOR PLAN:

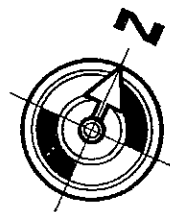
UPPER LIMITS (UNIT): +26.50 (GARAGE): +26.50
LOWER LIMITS (UNIT): +18.50 (GARAGE): +17.90

EXHIBIT "B"

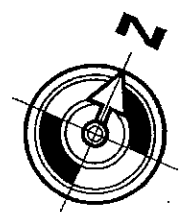
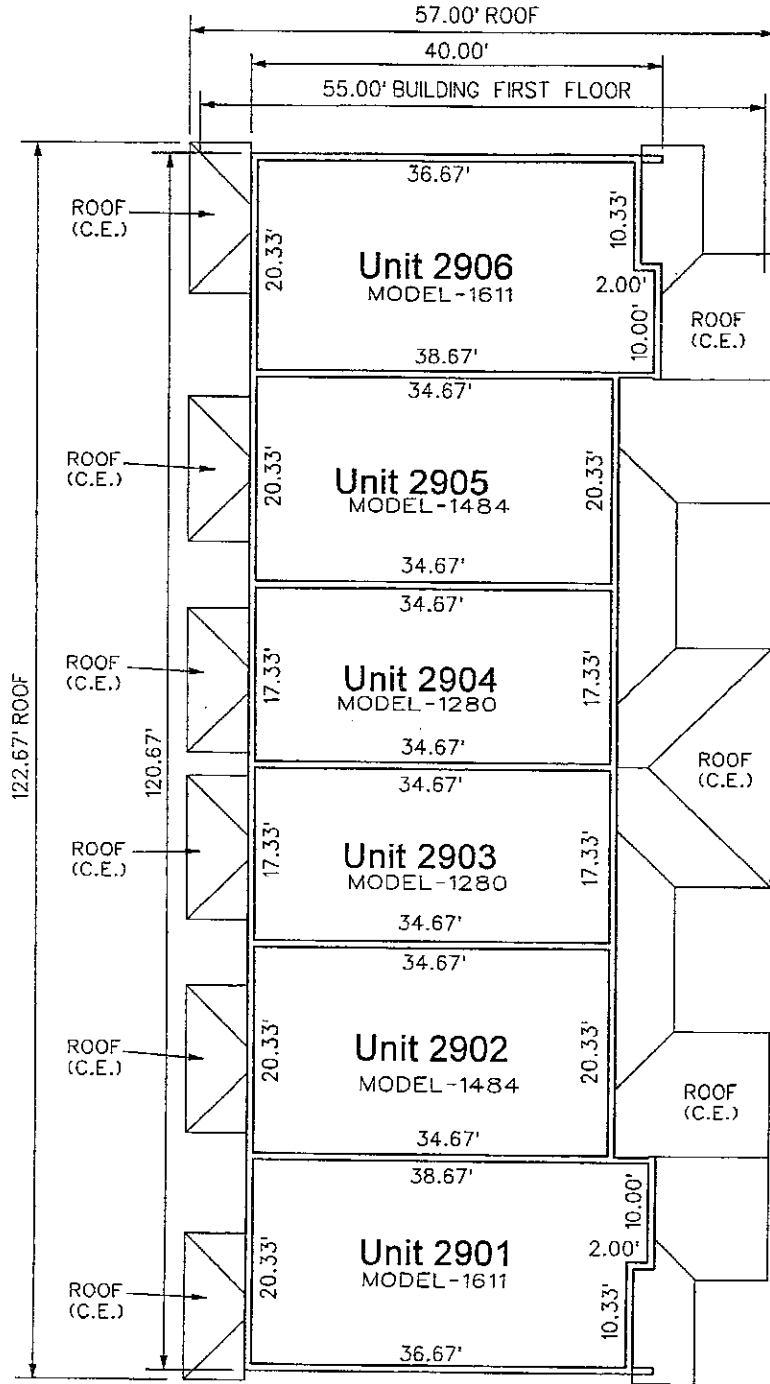
- REVISIONS:
1.)
2.)
3.)
4.)

HAGER, PALBICKE & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYORS
3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 4 OF 6 SHEETS



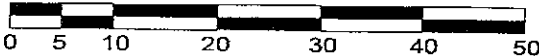
LEXINGTON LAKES, A CONDOMINIUM PHASE 29



**PHASE 29 - BUILDING
2ND FLOOR PLAN:**

UPPER LIMITS (UNIT): +35.98
 LOWER LIMITS (UNIT): +27.98

GRAPHIC SCALE:



SCALE: 1"=15'

REVISIONS:

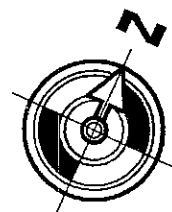
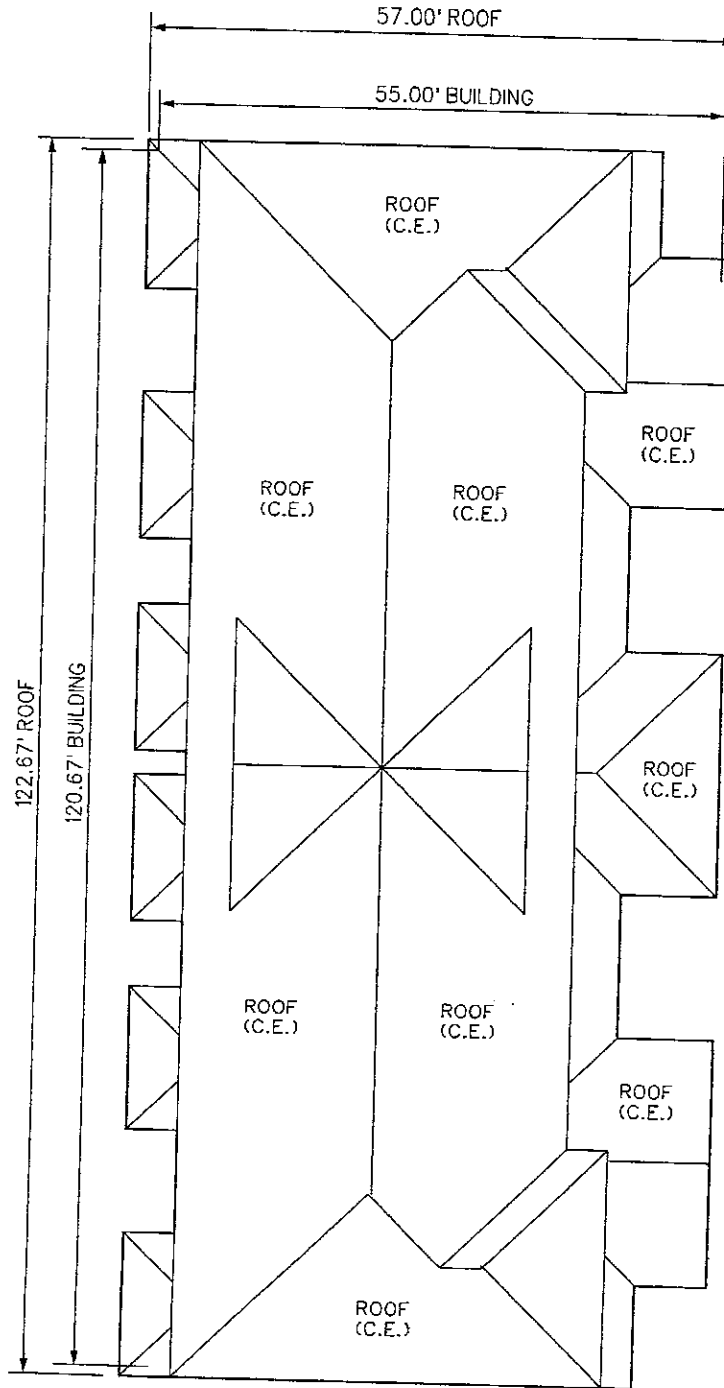
EXHIBIT "B"

- 1.)
- 2.)
- 3.)
- 4.)

HAGER, PALBICKE & ASSOCIATES, INC.
 PROFESSIONAL LAND SURVEYORS
 3850 N.W. BOCA RATON BLVD. SUITE 3, BOCA RATON, FLORIDA 33431
 PHONE: (561) 395-3600 FAX: (561) 395-2237

DATE: MARCH 2001 SHEET 5 OF 6 SHEETS

LEXINGTON LAKES, A CONDOMINIUM PHASE 29



**PHASE 29 - BUILDING
ROOF PLAN:**

GRAPHIC SCALE:



SCALE: 1"=15'

EXHIBIT "B"

- REVISIONS:
- 1.)
 - 2.)
 - 3.)
 - 4.)

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